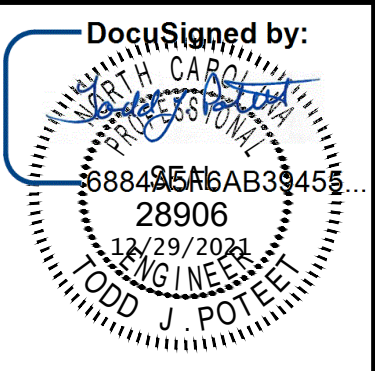


- SEWER ABANDONMENT**
1. MANHOLES SHALL HAVE THE RING, COVER AND CONE SECTION REMOVED AND THE BASE FILLED WITH STRUCTURAL FILL.
 2. THE SEWER PIPE UNDER THE BUILDING SHALL BE FILLED WITH PRESSURIZED FLOWABLE CONCRETE FILL MATERIAL.

UTILITY NOTE:
 PER CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98 (2) ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP ASSOCIATED WITH PUBLIC WATER AND/OR SEWER EXTENSION AND/OR MODIFICATION SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS, THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.



FINAL DRAWING - DO NOT USE FOR CONSTRUCTION

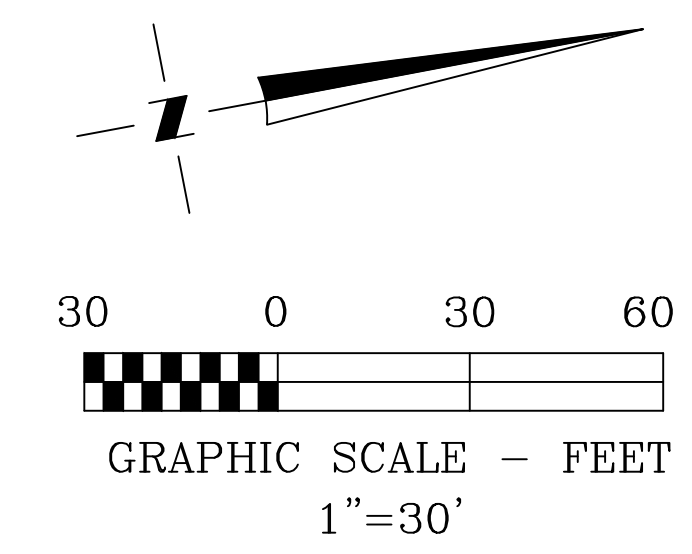
EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.: 20.143
 SCALE: 1/2"=30'
 DATE: 12/20/24
 DRAWN BY: TJP
 REVISION:
 1. CITY COMMENTS 9/17/24
 2. CITY COMMENTS 12/24/24

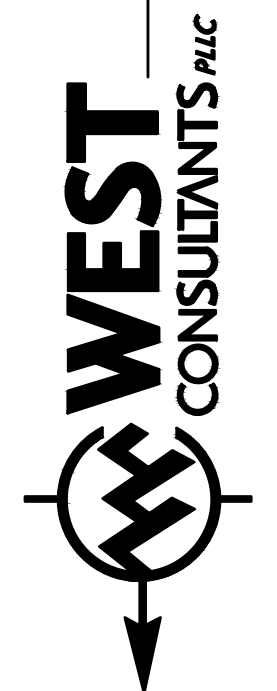
**COLEMAN MILL APARTMENTS
 CITY OF CONCORD, NORTH CAROLINA**

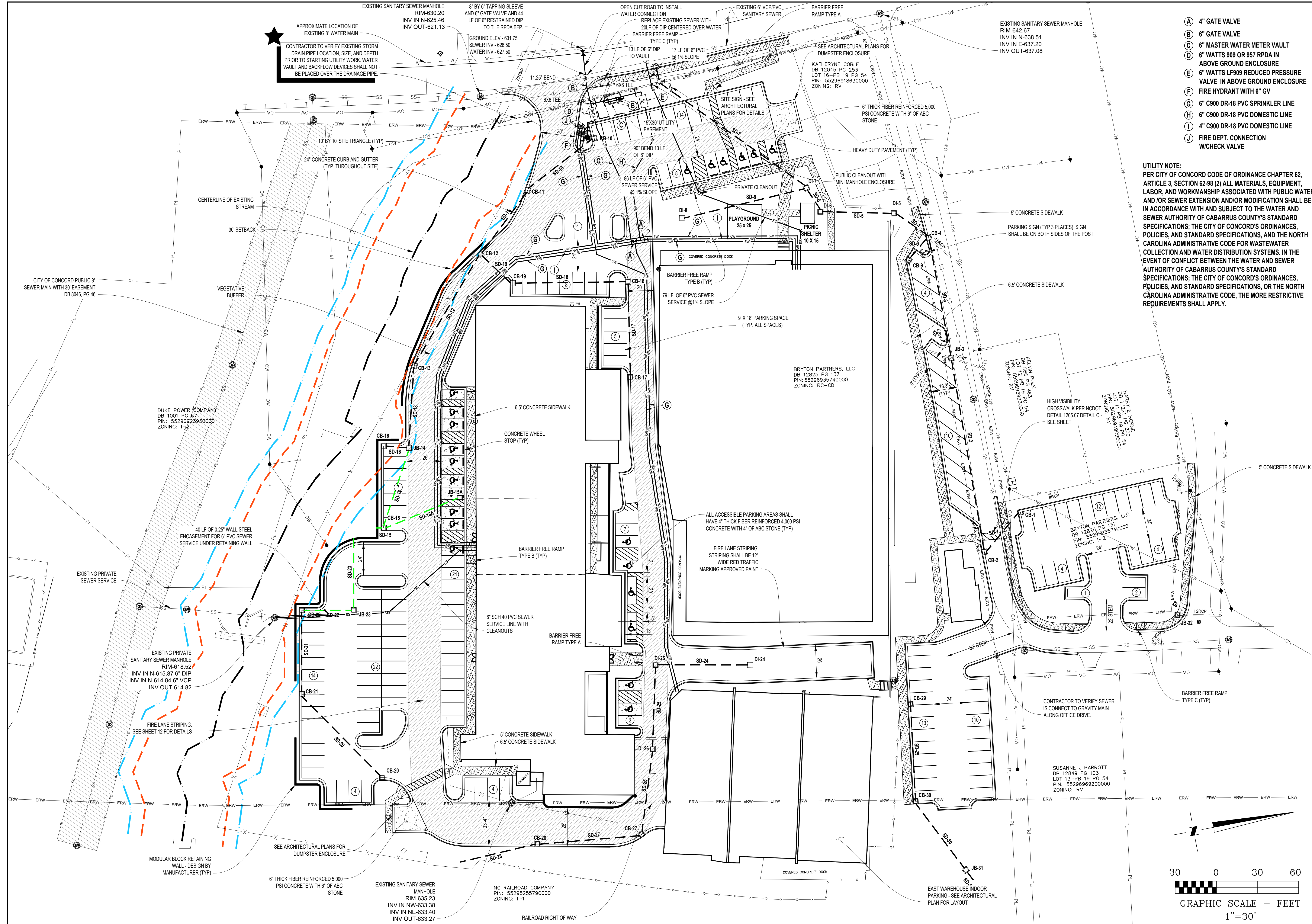
SHEET

2 OF 18



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 Fax (828) 433-5662
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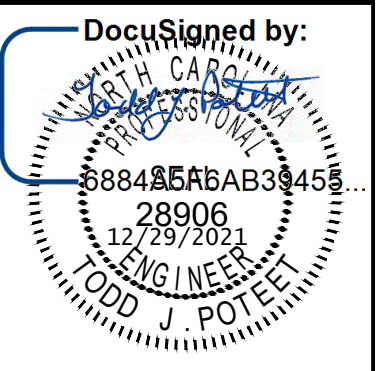




- (A) 4" GATE VALVE
- (B) 6" GATE VALVE
- (C) 6" MASTER WATER METER VAULT
- (D) 6" WATTS 909 OR 957 RPDA IN ABOVE GROUND ENCLOSURE
- (E) 6" WATTS LF909 REDUCED PRESSURE VALVE IN ABOVE GROUND ENCLOSURE
- (F) FIRE HYDRANT WITH 6" GV
- (G) 6" C900 DR-18 PVC SPRINKLER LINE
- (H) 6" C900 DR-18 PVC DOMESTIC LINE
- (I) 4" C900 DR-18 PVC DOMESTIC LINE
- (J) FIRE DEPT. CONNECTION W/CHECK VALVE

UTILITY NOTE:
 PER CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, SECTION 62-98 (2) ALL MATERIALS, EQUIPMENT, LABOR, AND WORKMANSHIP ASSOCIATED WITH PUBLIC WATER AND/OR SEWER EXTENSION AND/OR MODIFICATION SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. IN THE EVENT OF CONFLICT BETWEEN THE WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS, THE CITY OF CONCORD'S ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, OR THE NORTH CAROLINA ADMINISTRATIVE CODE, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.

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DocuSigned by:
 888455AB38458
 28906
 2/23/2021
 DAVID J. POTTER
 ENGINEER
 ODD POTENTIAL

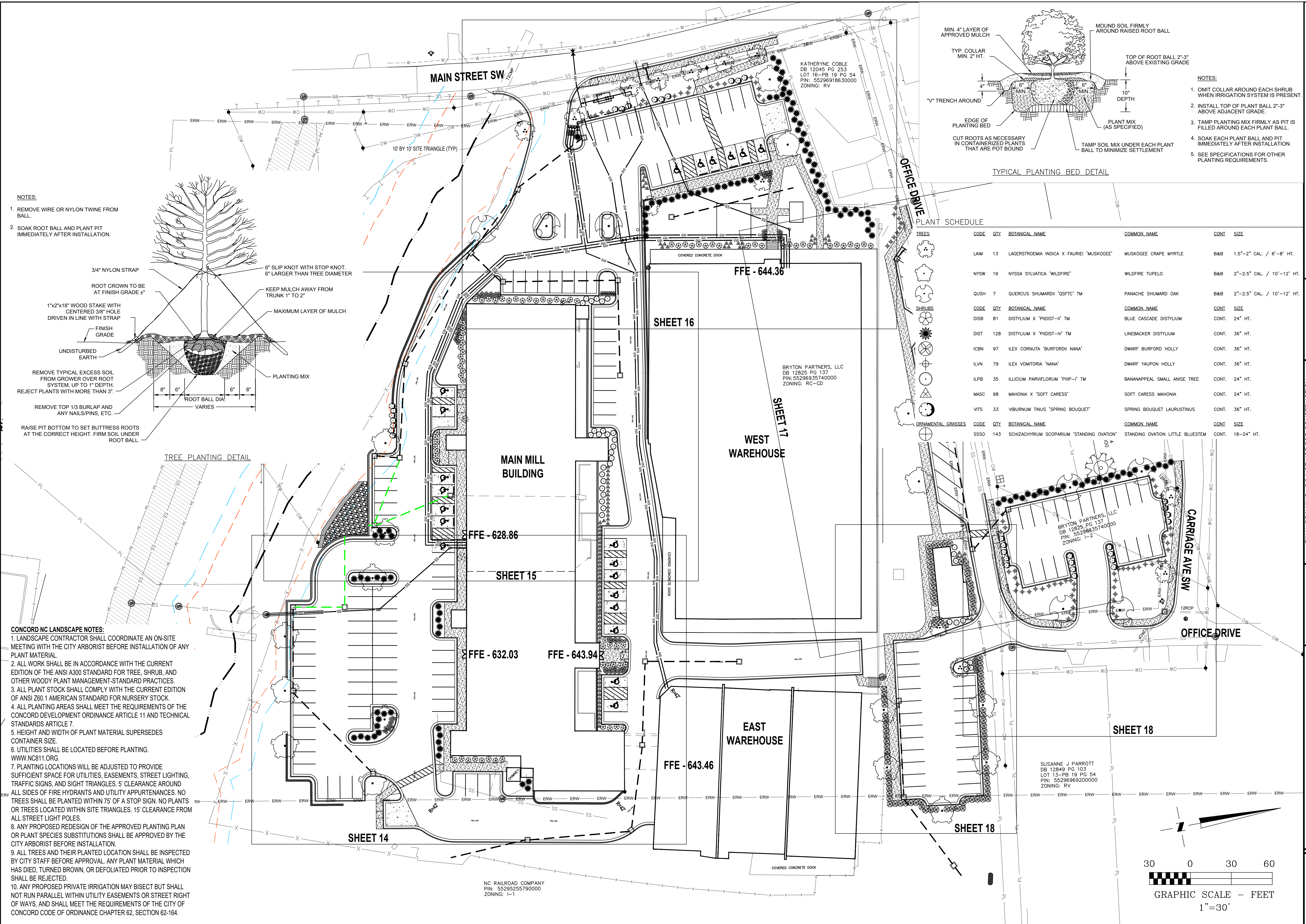
FINAL DRAWING - DO NOT USE FOR CONSTRUCTION

PROJECT NO.: 20.143
 SCALE: 1/2" = 30'
 DATE: 12/20/19
 DRAWN BY: TJP
 REVISION:
 1. CITY COMMENTS 9-17-2021
 2. CITY COMMENTS 12-28-21

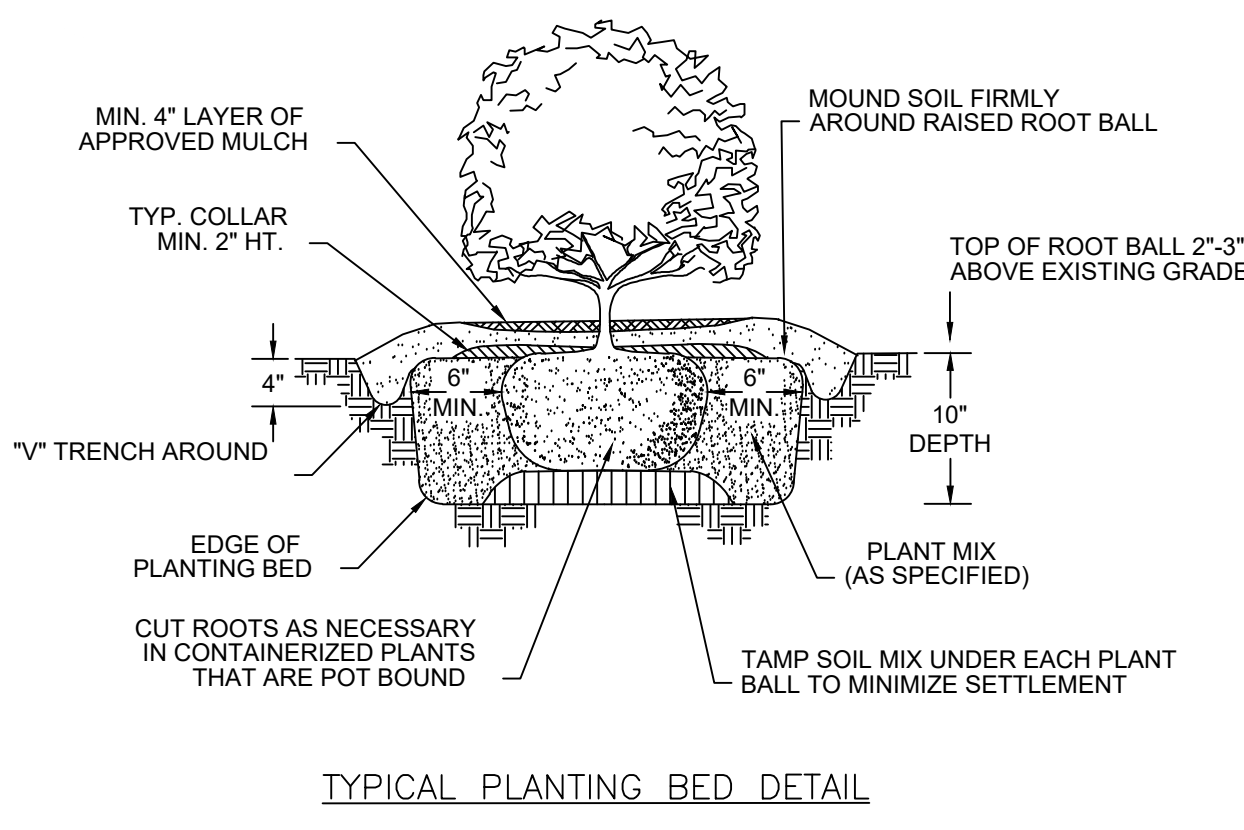
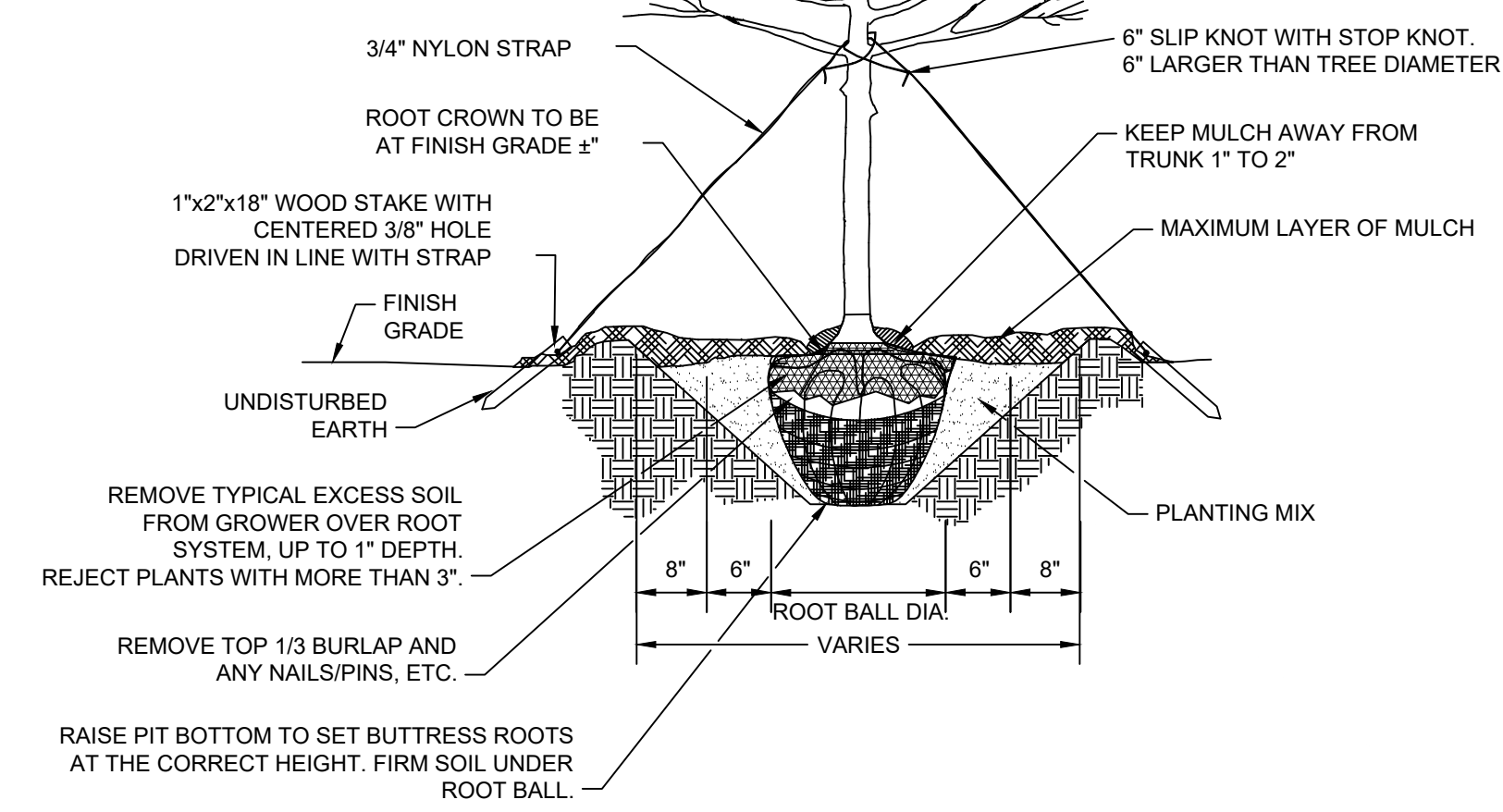
COLEMAN MILL APARTMENTS
 CITY OF CONCORD, NORTH CAROLINA

SHEET

5 OF 18



- NOTES:**
1. REMOVE WIRE OR NYLON TWINE FROM BALL.
 2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.



- NOTES:**
1. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 2. INSTALL TOP OF PLANT BALL 2"-3" ABOVE ADJACENT GRADE.
 3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
 4. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
 5. SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
	LAIM	13	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	B&B	1.5"-2" CAL. / 6'-8" HT.
	NYSW	19	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO	B&B	2"-2.5" CAL. / 10'-12" HT.
	QUSH	7	QUERCUS SHUMARDII 'QSFTC' TM	PANACHE SHUMARD OAK	B&B	2"-2.5" CAL. / 10'-12" HT.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
	DISB	81	DISTYLUM X 'PIDIST-II' TM	BLUE CASCADE DISTYLUM	CONT.	24" HT.
	DIST	128	DISTYLUM X 'PIDIST-IV' TM	LINEBACKER DISTYLUM	CONT.	36" HT.
	ICBN	97	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	CONT.	36" HT.
	ILVN	79	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	CONT.	36" HT.
	ILPB	35	ILICUM PARVIFLORUM 'PIIP-II' TM	BANANAPPEAL SMALL ANISE TREE	CONT.	24" HT.
	MASC	98	MAHONIA X 'SOFT CARESS'	SOFT CARESS MAHONIA	CONT.	24" HT.
	VITS	33	VIBURNUM TINUS 'SPRING BOUQUET'	SPRING BOUQUET LAURUSTINUS	CONT.	36" HT.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
	SSSO	143	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM	CONT.	18"-24" HT.

- CONCORD NC LANDSCAPE NOTES:**
1. LANDSCAPE CONTRACTOR SHALL COORDINATE AN ON-SITE MEETING WITH THE CITY ARBORIST BEFORE INSTALLATION OF ANY PLANT MATERIAL.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE ANSI A300 STANDARD FOR TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT-STANDARD PRACTICES.
 3. ALL PLANT STOCK SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK.
 4. ALL PLANTING AREAS SHALL MEET THE REQUIREMENTS OF THE CONCORD DEVELOPMENT ORDINANCE ARTICLE 11 AND TECHNICAL STANDARDS ARTICLE 7.
 5. HEIGHT AND WIDTH OF PLANT MATERIAL SUPERSEDES CONTAINER SIZE.
 6. UTILITIES SHALL BE LOCATED BEFORE PLANTING. WWW.NC811.ORG.
 7. PLANTING LOCATIONS WILL BE ADJUSTED TO PROVIDE SUFFICIENT SPACE FOR UTILITIES, EASEMENTS, STREET LIGHTING, TRAFFIC SIGNS, AND SIGHT TRIANGLES. 5' CLEARANCE AROUND ALL SIDES OF FIRE HYDRANTS AND UTILITY APPURTENANCES. NO TREES SHALL BE PLANTED WITHIN 75' OF A STOP SIGN. NO PLANTS OR TREES LOCATED WITHIN SITE TRIANGLES. 15' CLEARANCE FROM ALL STREET LIGHT POLES.
 8. ANY PROPOSED REDESIGN OF THE APPROVED PLANTING PLAN OR PLANT SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE CITY ARBORIST BEFORE INSTALLATION.
 9. ALL TREES AND THEIR PLANTED LOCATION SHALL BE INSPECTED BY CITY STAFF BEFORE APPROVAL. ANY PLANT MATERIAL WHICH HAS DIED, TURNED BROWN, OR DEFOLIATED PRIOR TO INSPECTION SHALL BE REJECTED.
 10. ANY PROPOSED PRIVATE IRRIGATION MAY BISECT BUT SHALL NOT RUN PARALLEL WITHIN UTILITY EASEMENTS OR STREET RIGHT OF WAYS, AND SHALL MEET THE REQUIREMENTS OF THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, SECTION 62-164.

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WEST CONSULTANTS LLC

DocuSign by: [Stamp]

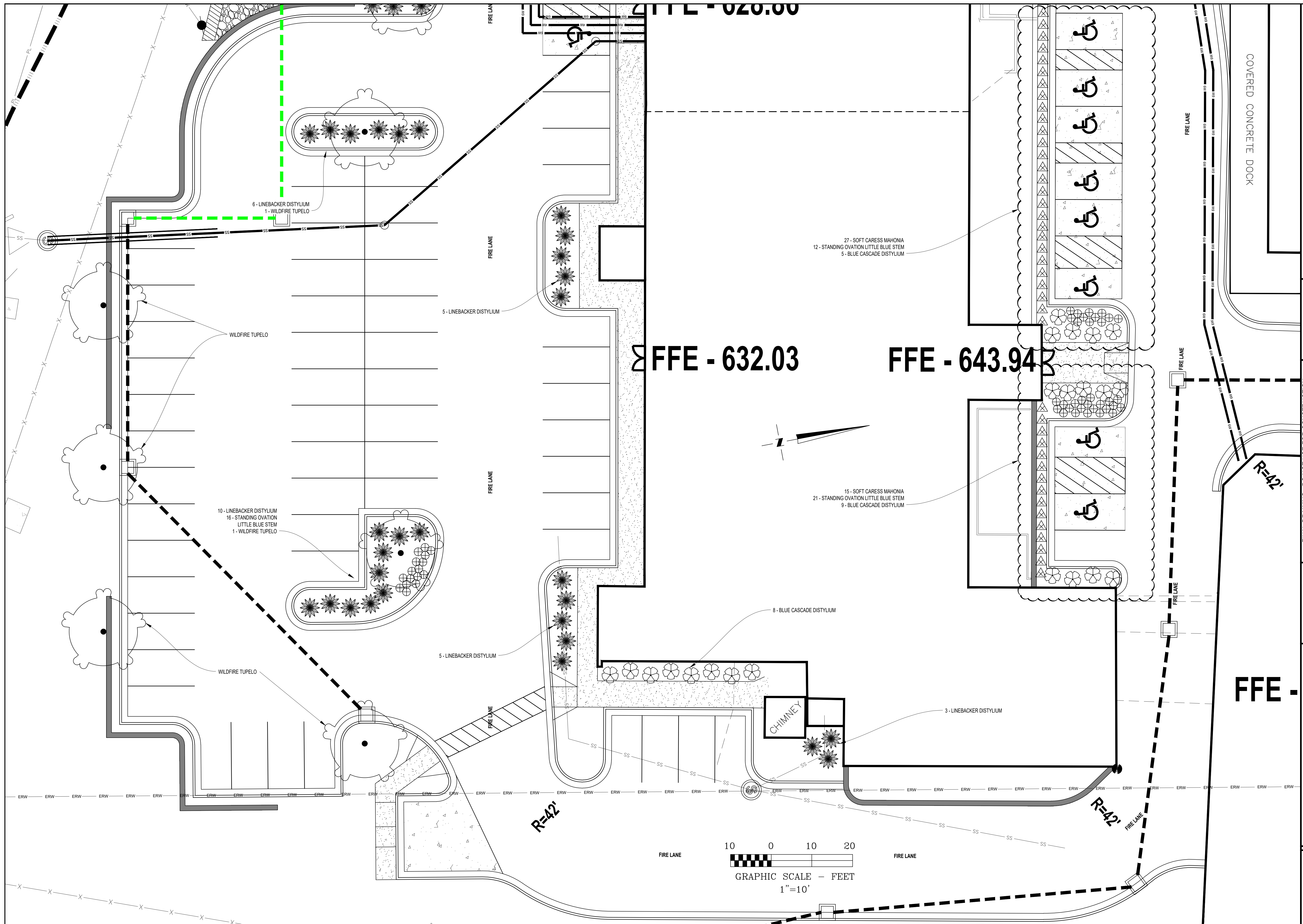
FINAL DRAWING - DO NOT USE FOR CONSTRUCTION

OVERALL LANDSCAPING PLAN, DETAILS, AND SCHEDULE

PROJECT NO.: 20143
SCALE: 1"=30'
DATE: 2/2/21
DRAWN BY: TJP
REVISION: [Stamp]

COLEMAN MILL APARTMENTS
CITY OF CONCORD, NORTH CAROLINA

SHEET 13 OF 18



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 Morganton, NC 28655
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 Fax (828) 433-5662
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DocuSigned by:
 T.J.P. JONES
 888445F6A834465
 28906
 12/8/2023
 P.O. BOX 1000
 LENOIR, NC 28645

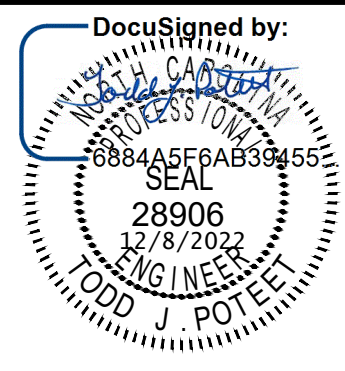
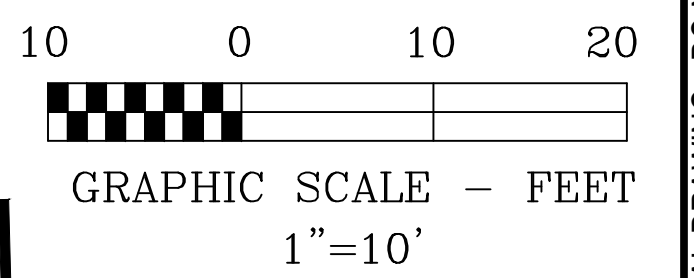
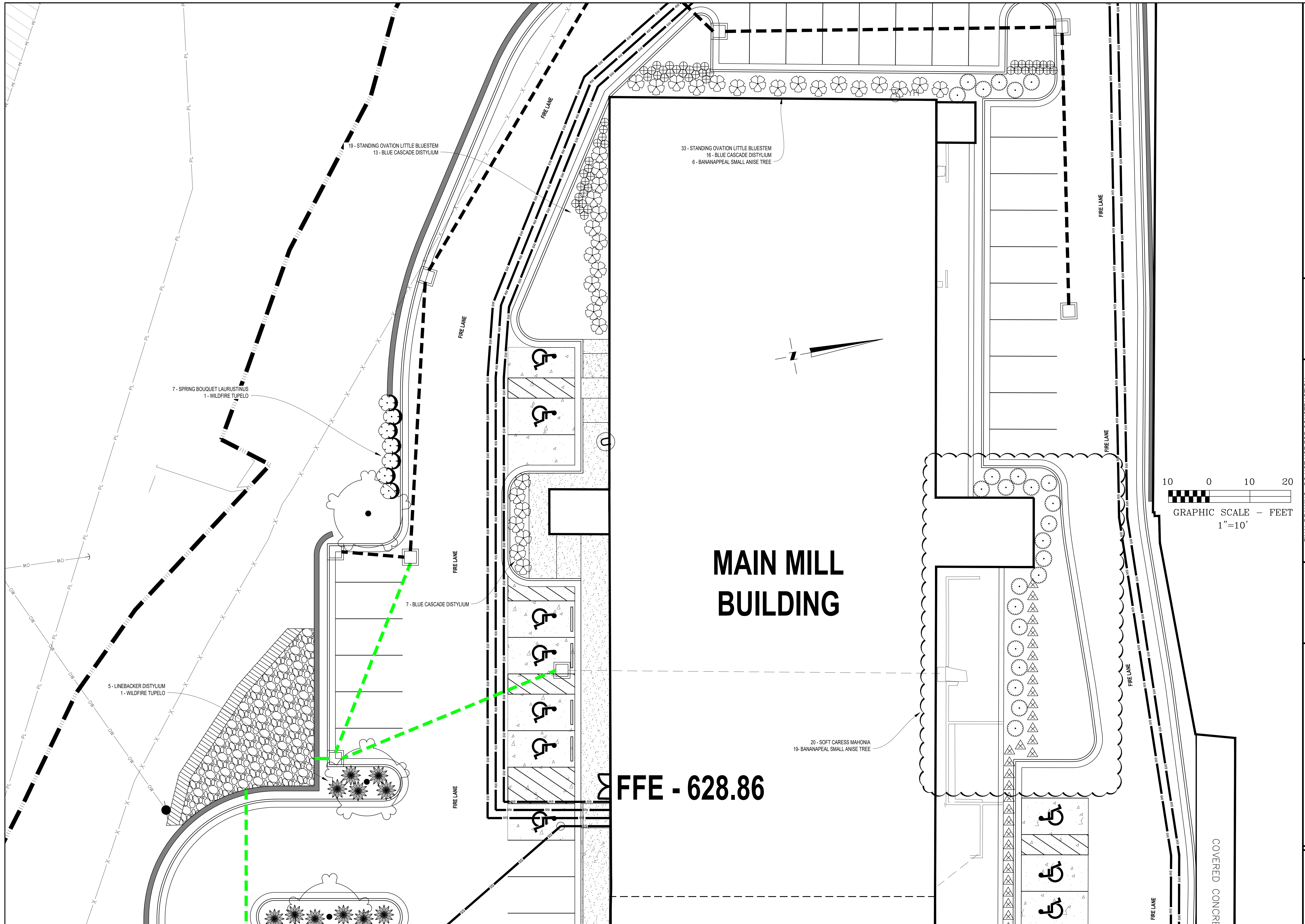
FINAL DRAWING - DO NOT USE FOR CONSTRUCTION

LANDSCAPING PLAN

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 SCALE: 1"=10'
 DATE: 12/20/21
 DRAWN BY: TJP
 REVISION: REVISIONS 11/21/21
 2. CITY COMMENTS 11/21/21
 3. CITY COMMENTS 12/28/21
 4. ERKSON COMMENTS 12/28/21
 5. ERKSON REVISIONS 12/28/21
 6. ERKSON REVISIONS 12/28/21
 7. REVIEW COMMENTS 11/11/22

COLEMAN MILL APARTMENTS
 CITY OF CONCORD, NORTH CAROLINA

SHEET
 14 OF 18



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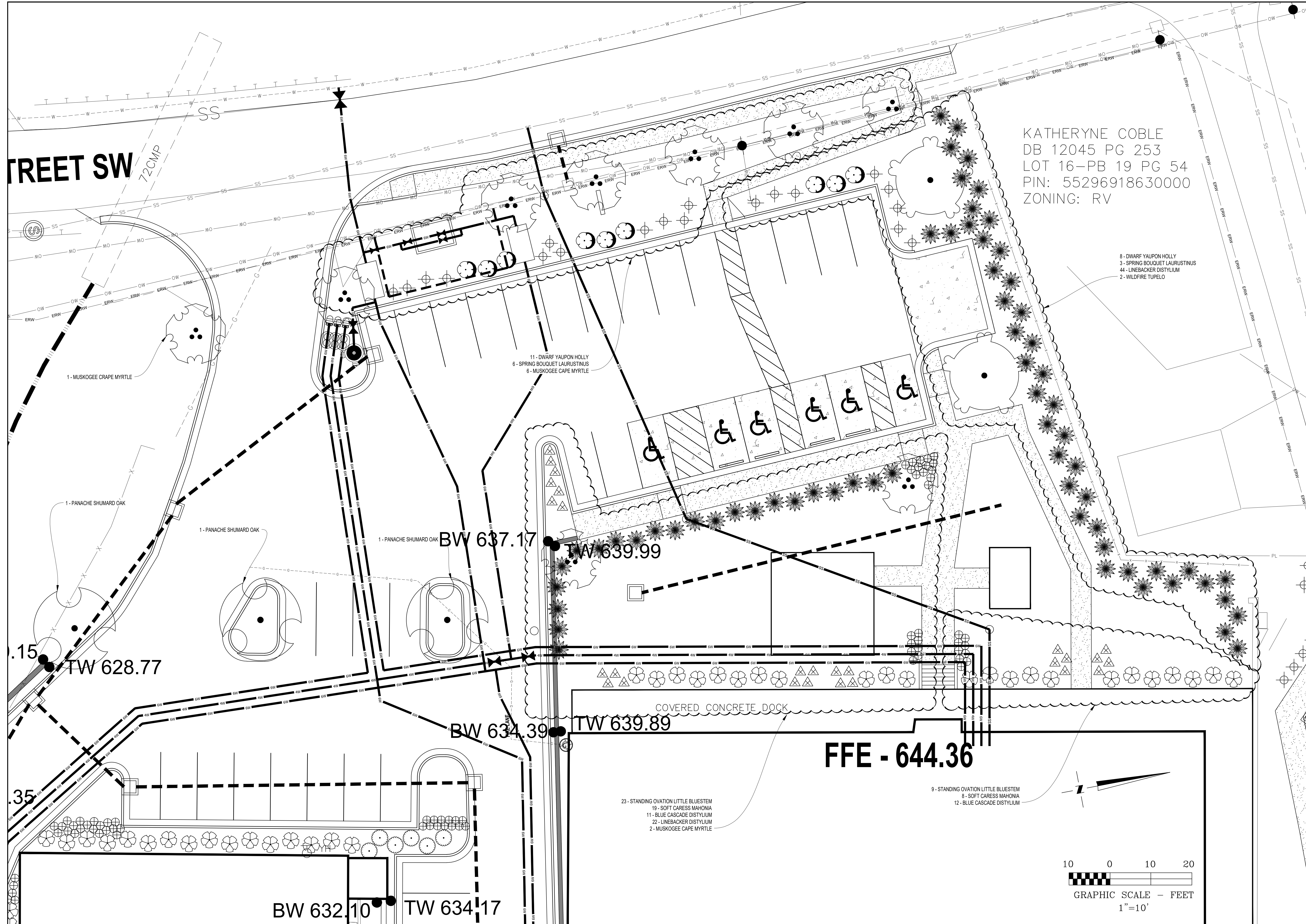
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PROJECT NO.: 20.143
SCALE: 1"=30'
DATE: 12/20/21
DRAWN BY: TJP
REVISION: REVISIONS 1/11/2021
2. CITY COMMENTS 1/15/21
3. CITY COMMENTS 1/28/21
4. ERICSON COMMENTS 2/2/22
5. ERICSON REVISIONS 2/2/22
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7. REVIEW COMMENTS 1/11/22

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CITY OF CONCORD, NORTH CAROLINA

SHEET

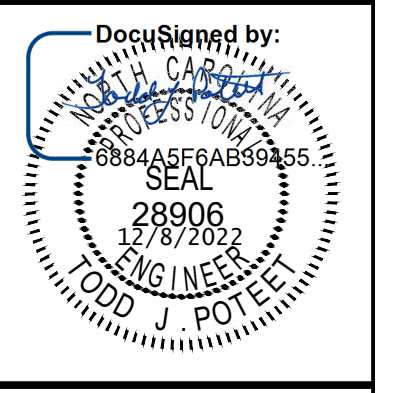
15 OF 18



KATHERYNE COBLE
DB 12045 PG 253
LOT 16-PB 19 PG 54
PIN: 55296918630000
ZONING: RV

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WEST CONSULTANTS LLC



DocuSign by: T.J.P. POTERFI
Professional Engineer
License No. 28906
State of North Carolina

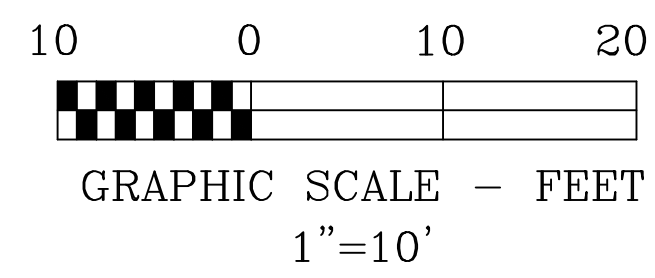
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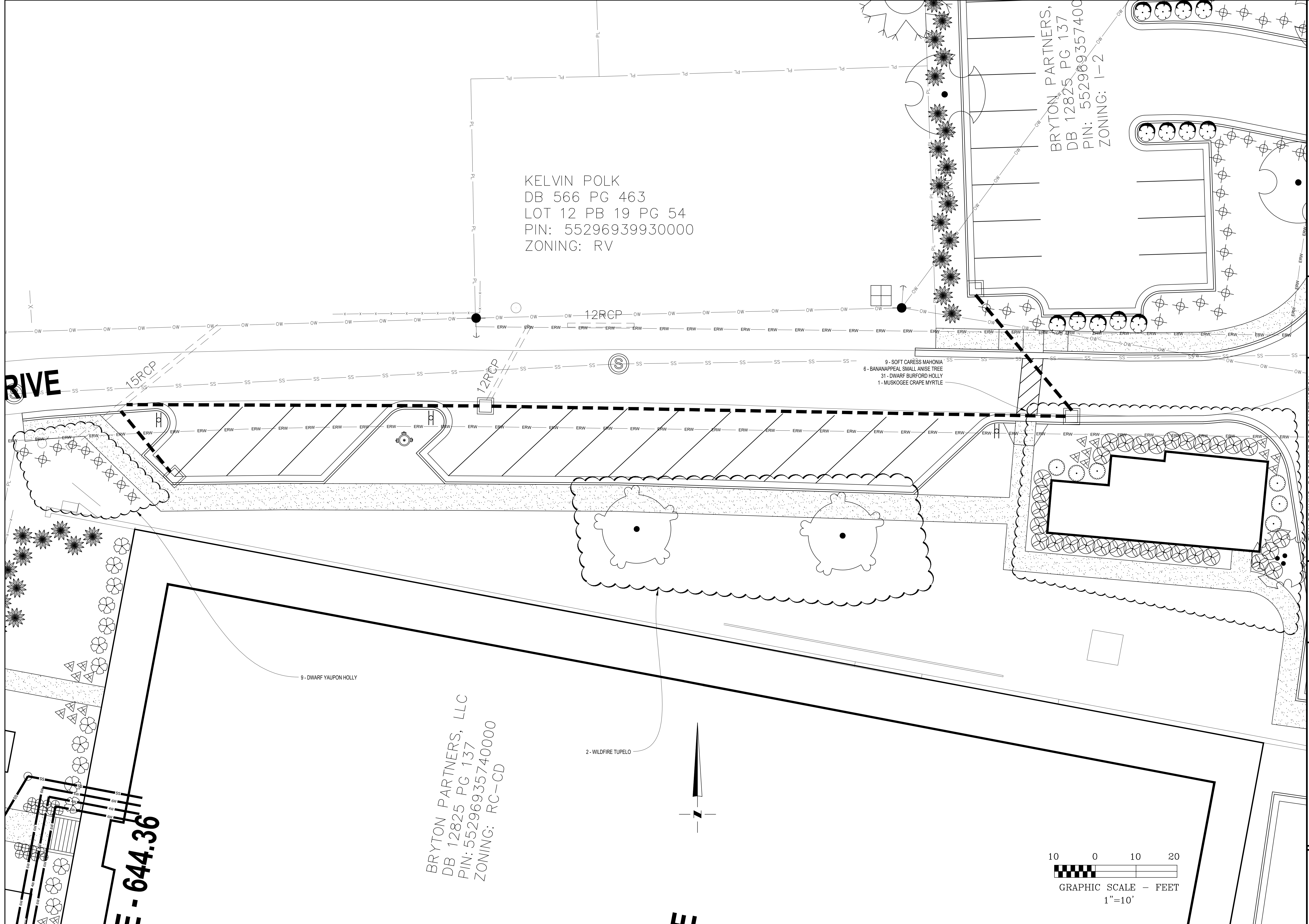
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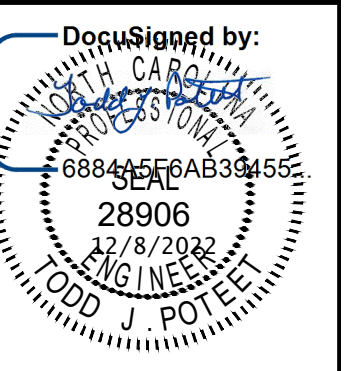
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DATE: 12/2021
DRAWN BY: TJP
REVISION: COMMENTS 8/11/2021
2. CITY COMMENTS 11/2021
3. CITY COMMENTS 12/2021
4. ERKSON COMMENTS 12/2021
5. ERKSON REVISIONS 5/2022
6. ERKSON REVISIONS 5/2022
7. REVIEW COMMENTS 11/11/22

COLEMAN MILL APARTMENTS
CITY OF CONCORD, NORTH CAROLINA





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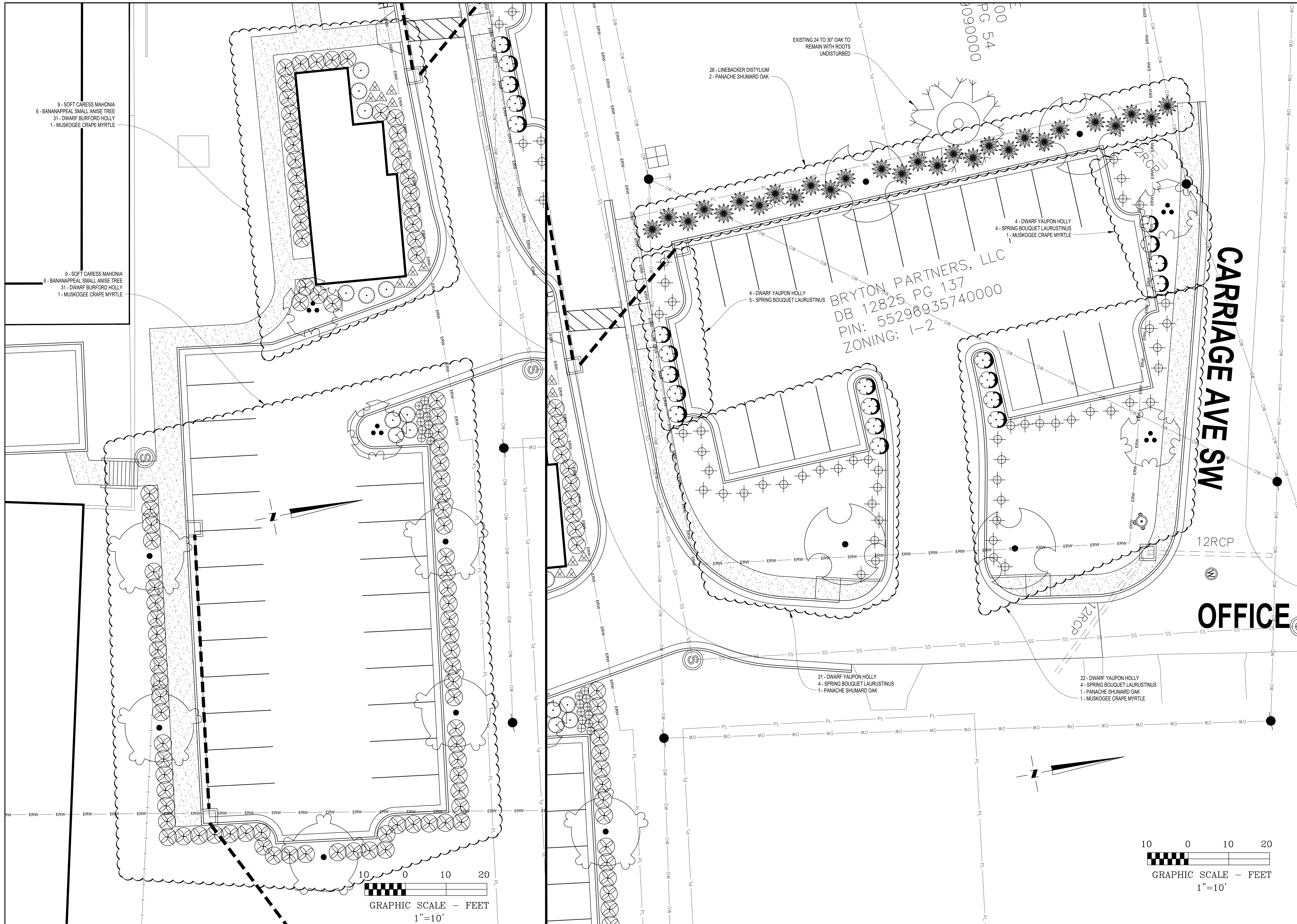


FINAL DRAWING - DO NOT USE FOR CONSTRUCTION
LANDSCAPING PLAN

PROJECT NO.: 20.143
 SCALE: 1"=30'
 DATE: 12/20/21
 DRAWN BY: TJP
 REVISION:
 1. REVISIONS 11/20/21
 2. CITY COMMENTS 11/20/21
 3. CITY COMMENTS 12/20/21
 4. ERKSON COMMENTS 12/20/21
 5. ERKSON REVISIONS 12/20/21
 6. ERKSON REVISIONS 12/20/21
 7. REVIEW COMMENTS 11/11/22

COLEMAN MILL APARTMENTS
 CITY OF CONCORD, NORTH CAROLINA

SHEET
 17 OF 18



9 - SOFT CARESS MAHONIA
 6 - BANANAPPEAL SMALL ANISE TREE
 31 - DWARF BURFORD HOLLY
 1 - MUSKOGEE GRAPE MYRTLE

9 - SOFT CARESS MAHONIA
 6 - BANANAPPEAL SMALL ANISE TREE
 31 - DWARF BURFORD HOLLY
 1 - MUSKOGEE GRAPE MYRTLE

EXISTING 24 TO 30" OAK TO
 REMAIN WITH ROOTS
 UNDISTURBED

28 - LINEBACKER DISTYLIUM
 2 - PANACHE SHUMARD OAK

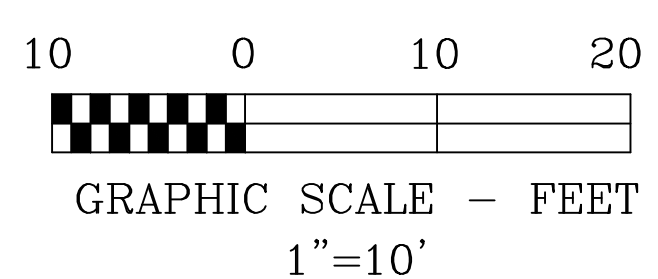
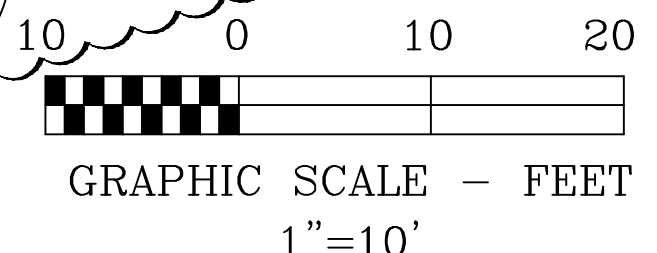
4 - DWARF YAUPON HOLLY
 5 - SPRING BOUQUET LAURUSTINUS

BRYTON PARTNERS, LLC
 DB 12825 PG 137
 PIN: 55298935740000
 ZONING: 1-2

4 - DWARF YAUPON HOLLY
 4 - SPRING BOUQUET LAURUSTINUS
 1 - MUSKOGEE GRAPE MYRTLE

21 - DWARF YAUPON HOLLY
 4 - SPRING BOUQUET LAURUSTINUS
 1 - PANACHE SHUMARD OAK

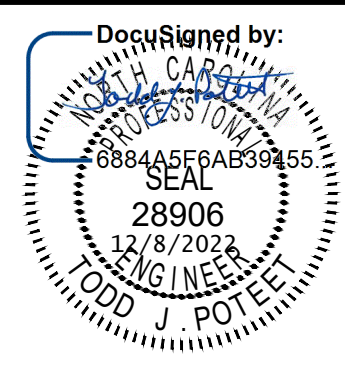
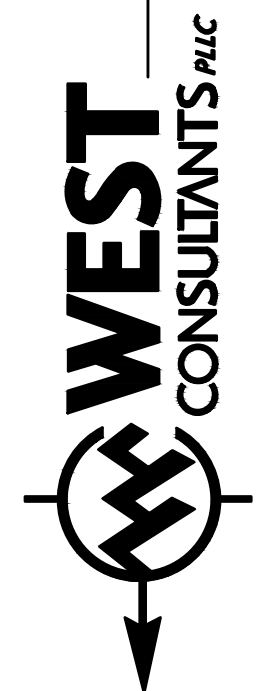
22 - DWARF YAUPON HOLLY
 4 - SPRING BOUQUET LAURUSTINUS
 1 - PANACHE SHUMARD OAK
 1 - MUSKOGEE GRAPE MYRTLE



CARRIAGE AVE SW

OFFICE

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LANDSCAPING PLAN

PROJECT NO.: 20.143
 SCALE: 1"=30'
 DATE: 12/20/21
 DRAWN BY: TJP
 REVISION: 1. REVISIONS 11/21/21
 2. CITY COMMENTS 11/21/21
 3. CITY COMMENTS 12/21/21
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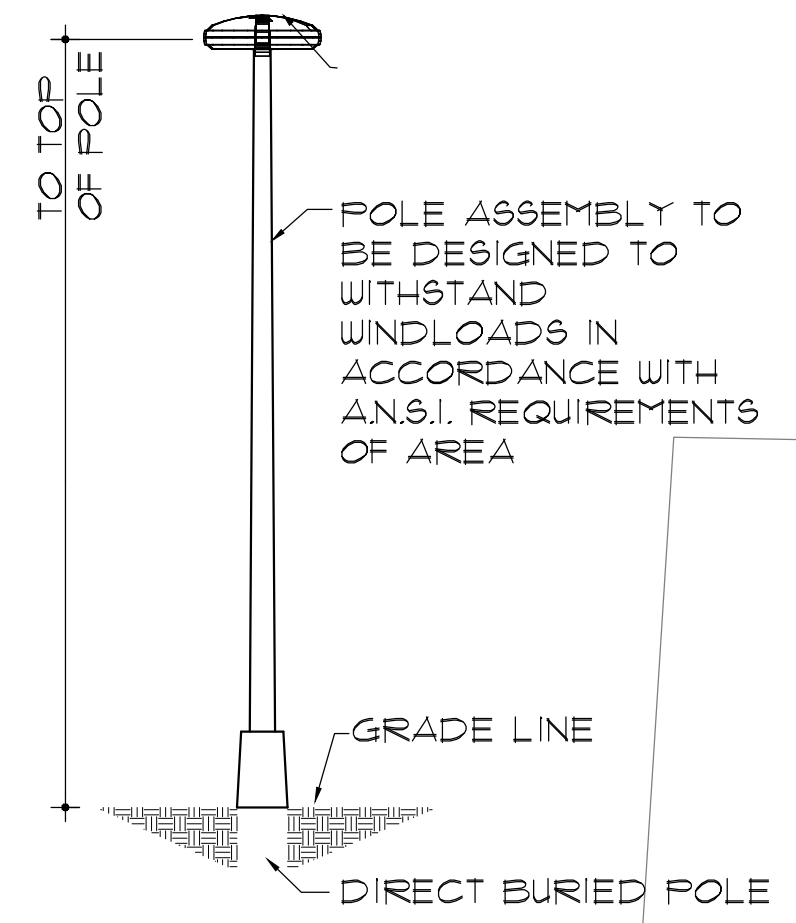
COLEMAN MILL APARTMENTS
 CITY OF CONCORD, NORTH CAROLINA

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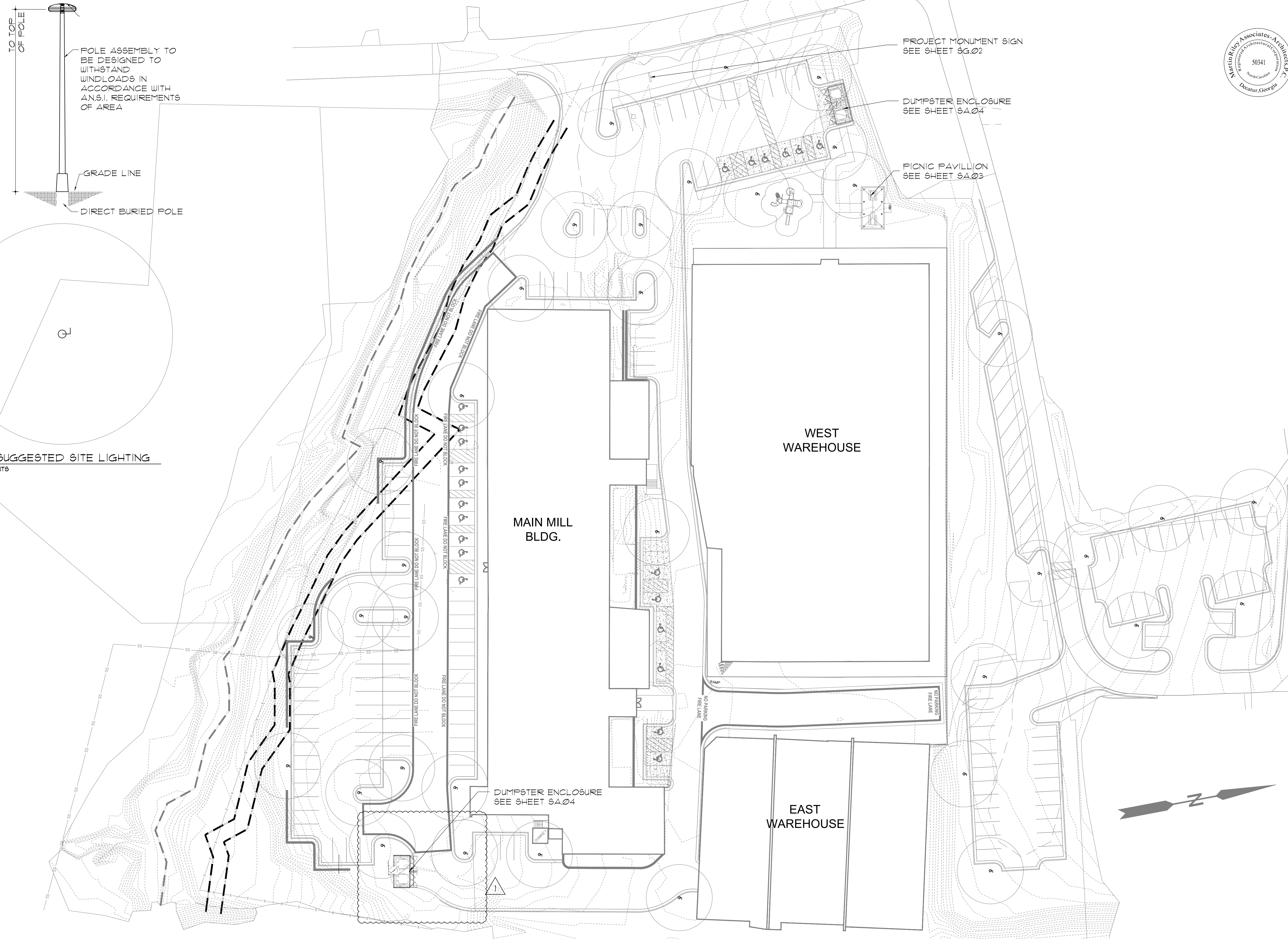
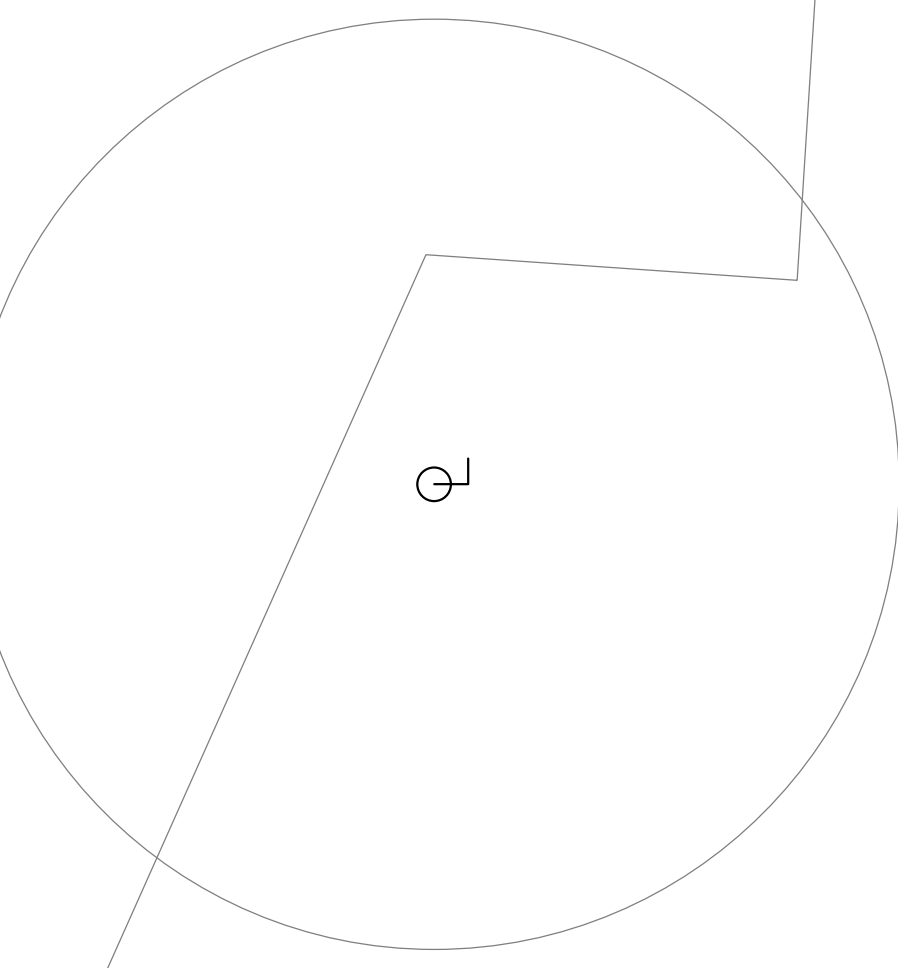
18 OF 18

9/22/2021 5:39:54 PM - DRAWING: P:\SART\2018-043 CONCORD-COLEMAN\2018-043_SA01.DWG - SA01 - PLOTTED BY: LEIGH GOMEZ - COPYRIGHT 2020

LIGHTING



2 SUGGESTED SITE LIGHTING NT6



PROJECT MONUMENT SIGN
SEE SHEET SG.02

DUMPSTER ENCLOSURE
SEE SHEET SA.04

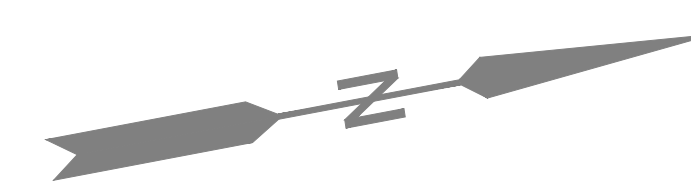
PICNIC PAVILLION
SEE SHEET SA.03

MAIN MILL
BLDG.

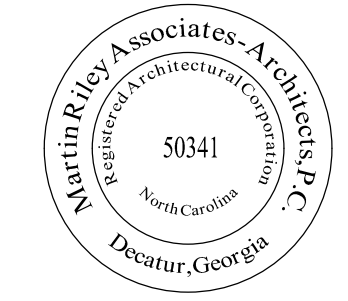
WEST
WAREHOUSE

EAST
WAREHOUSE

DUMPSTER ENCLOSURE
SEE SHEET SA.04

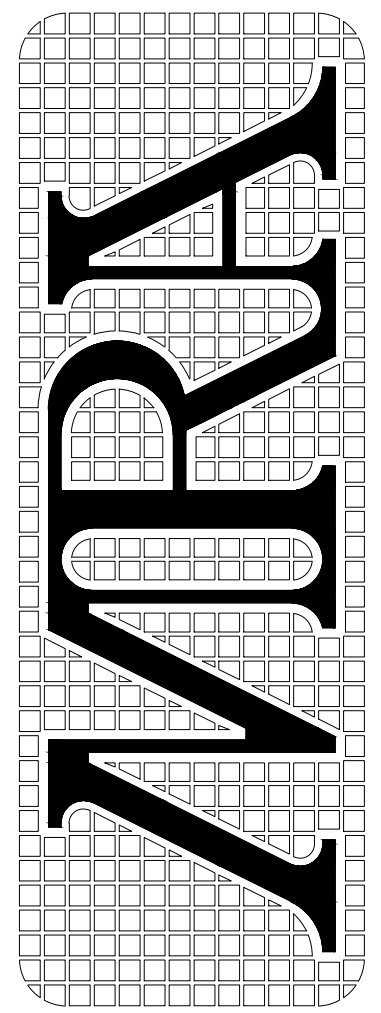


1 ARCHITECTURAL SITE PLAN AND SUGGESTED SITE LIGHTING
1" = 30'-0"



MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

COLEMAN MILL APARTMENTS
CONCORD, NC

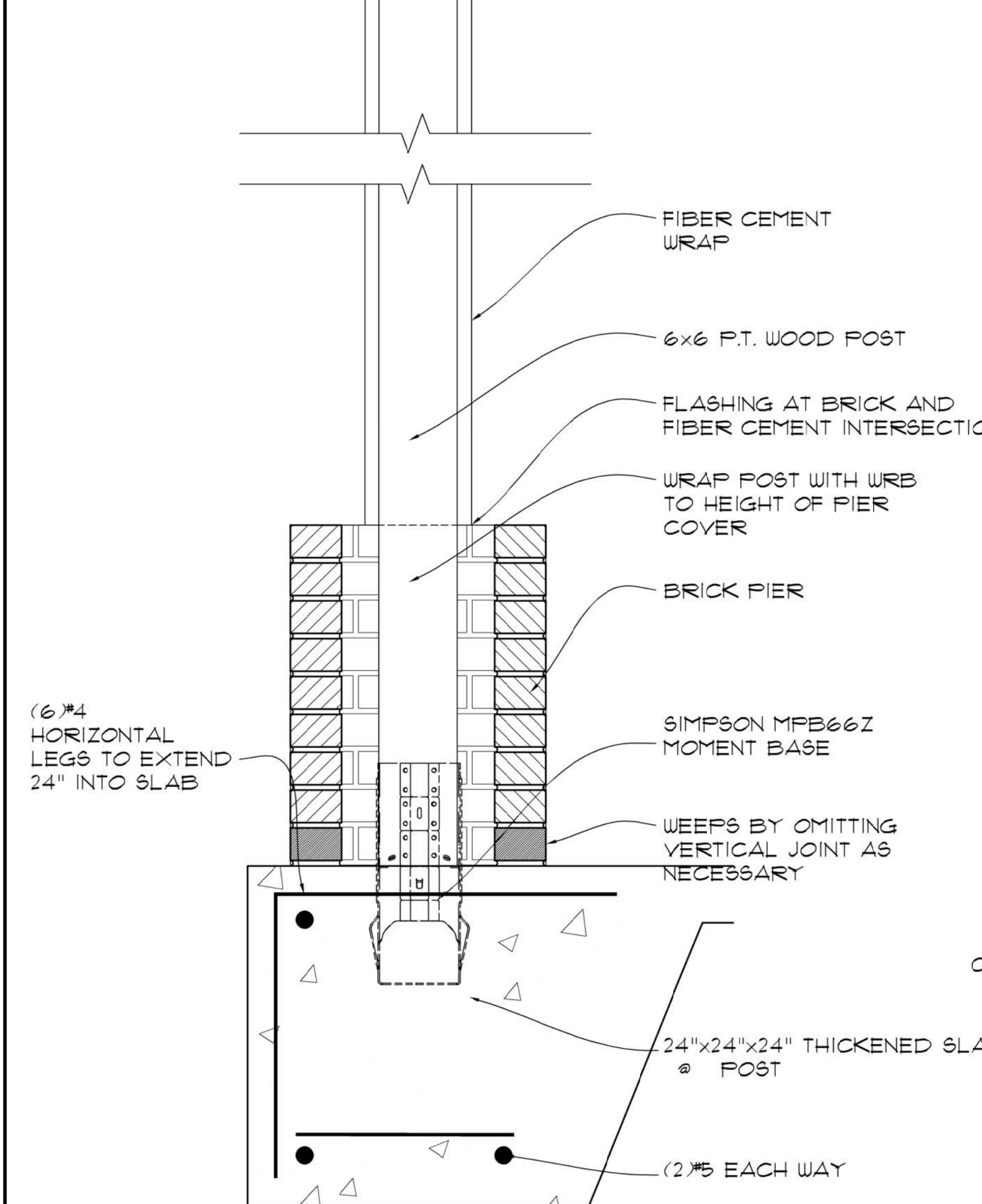
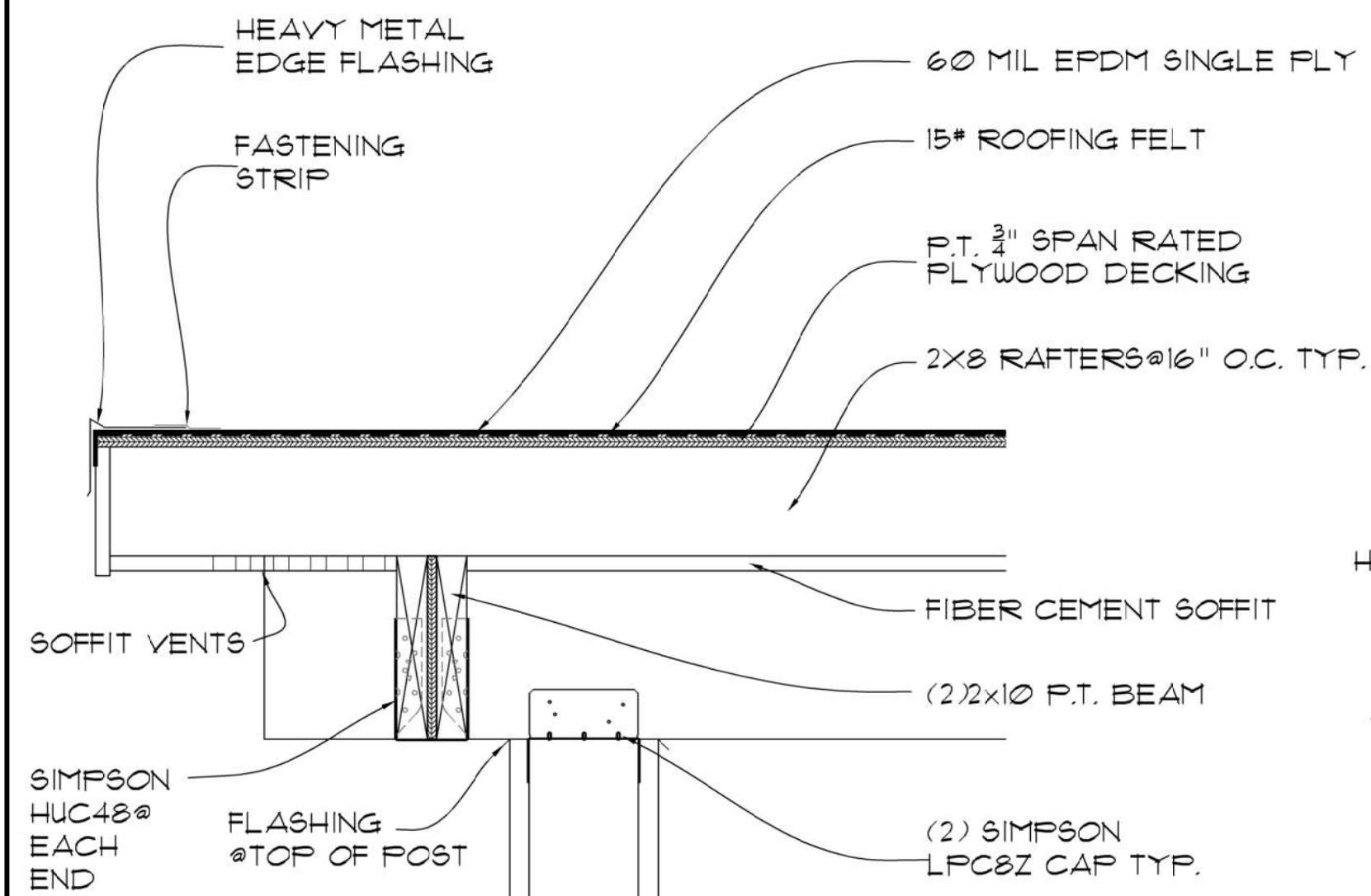


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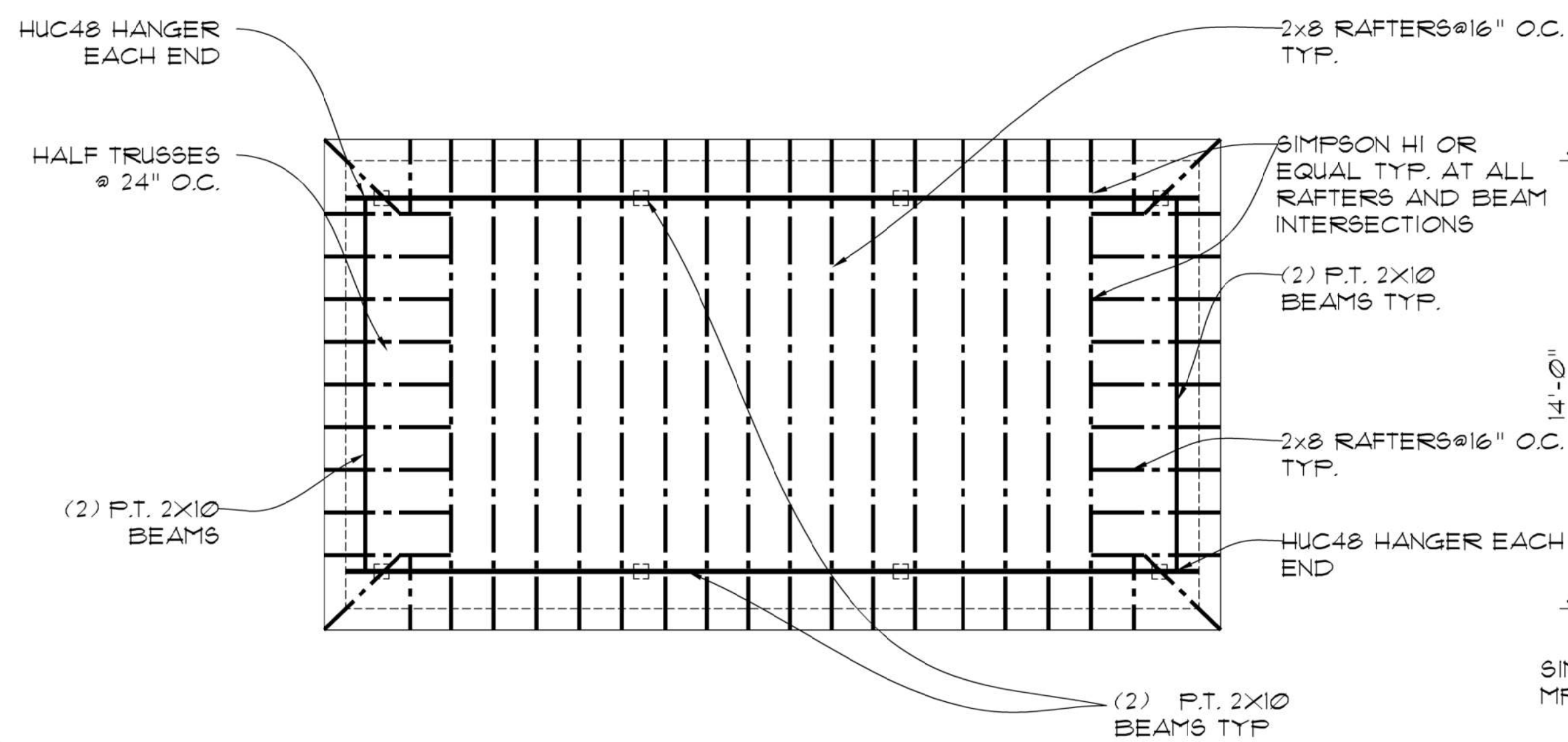
PERSONS
9-22-21

PROJECT
2018-043
DATE
T-14-21
DRAWN BY / CHECKED BY
LBG

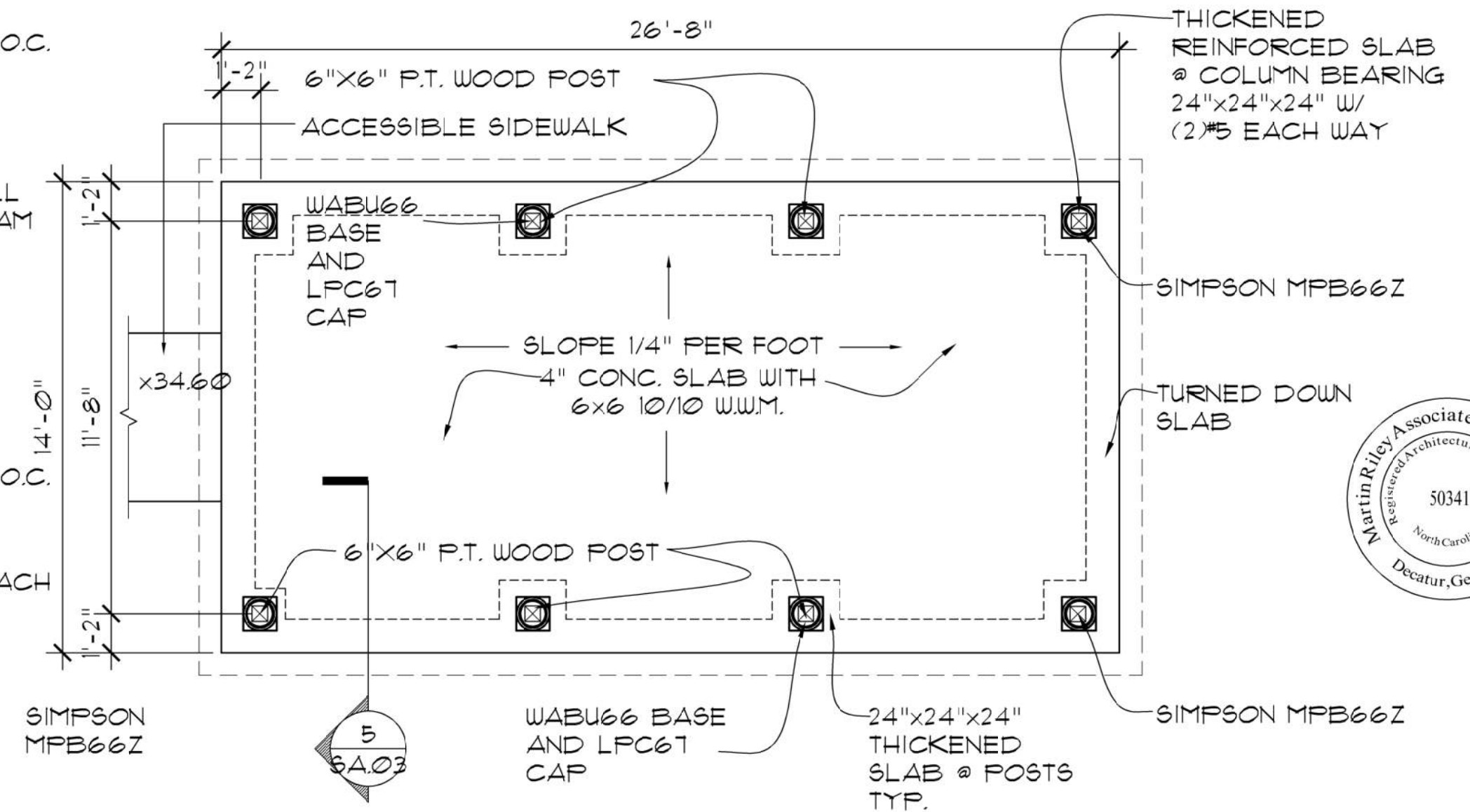




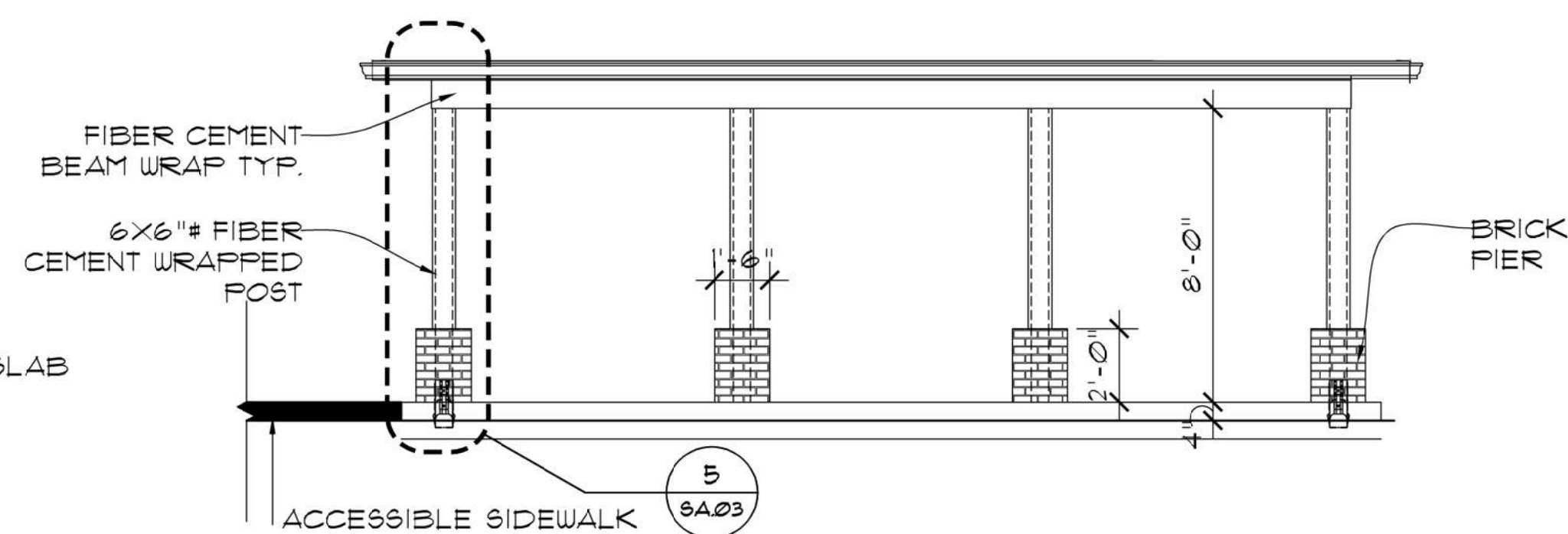
5 SECTION AND BEAM AND POST
1 1/2" = 1'-0"



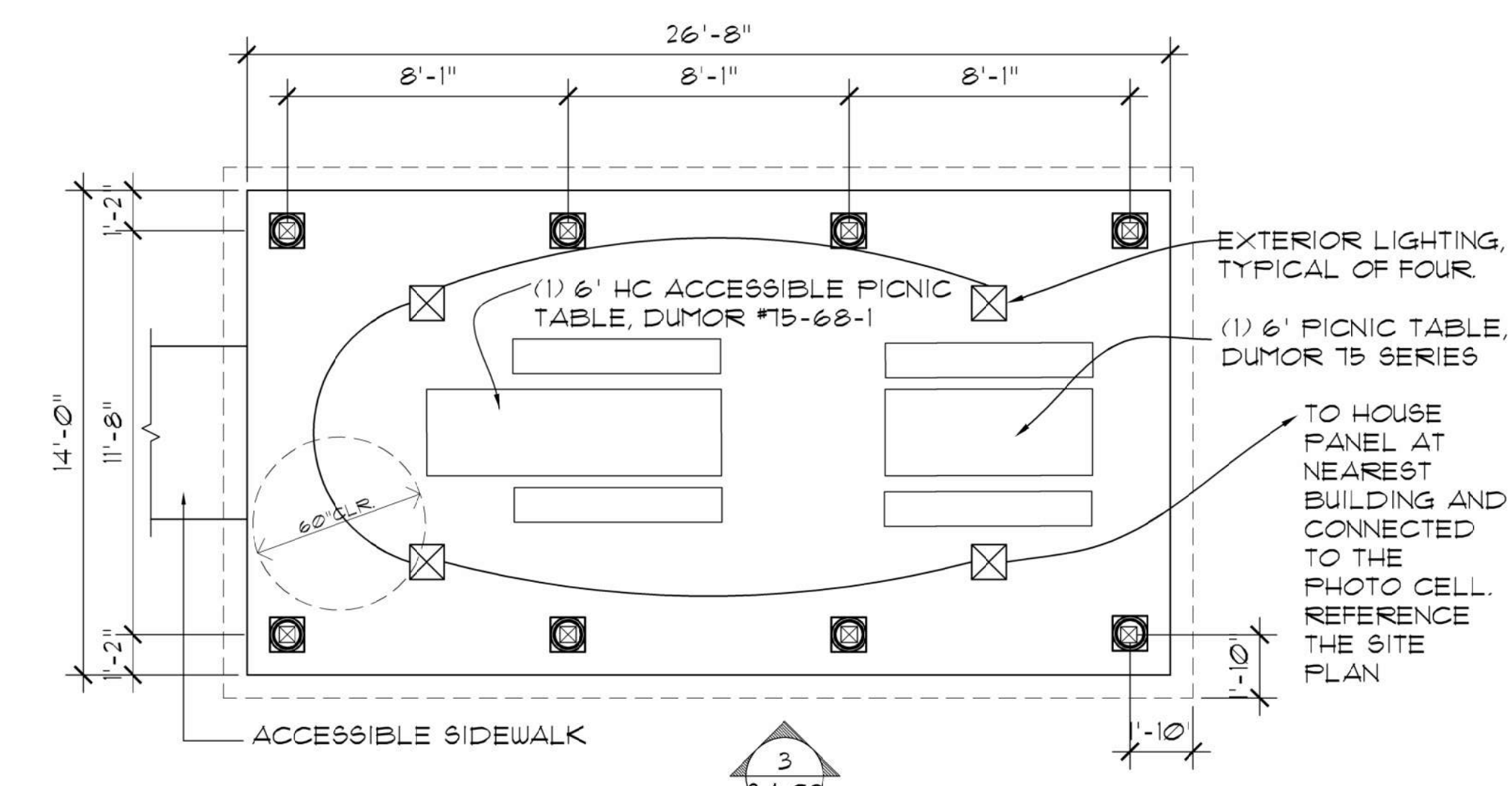
4 GAZEBO ROOF FRAMING PLAN
1/4" = 1'-0"



2 GAZEBO FOUNDATION PLAN
1/4" = 1'-0"



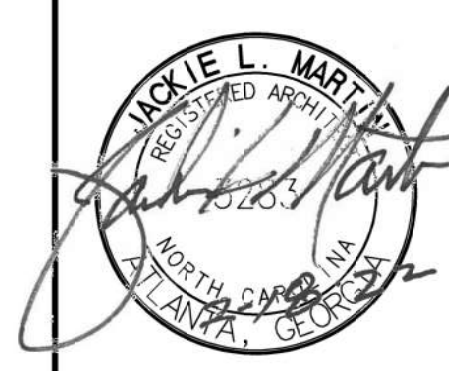
3 GAZEBO ELEVATION
1/4" = 1'-0"



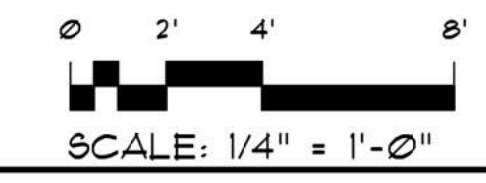
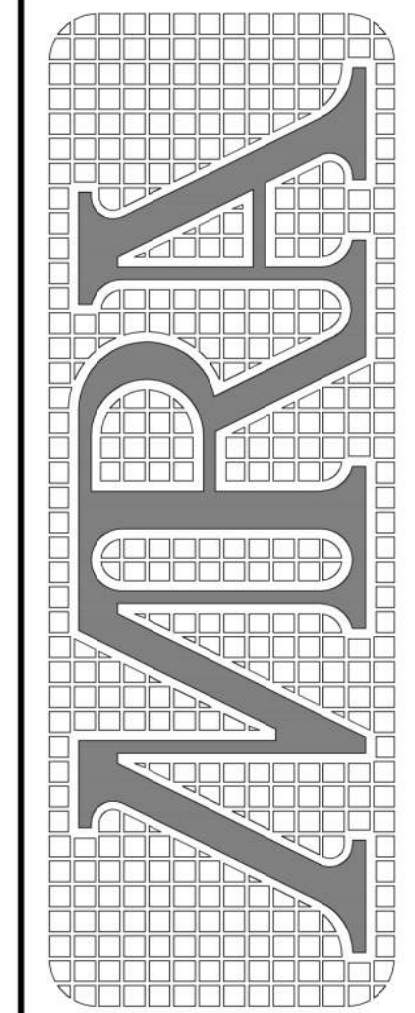
1 GAZEBO FLOOR PLAN
1/4" = 1'-0"



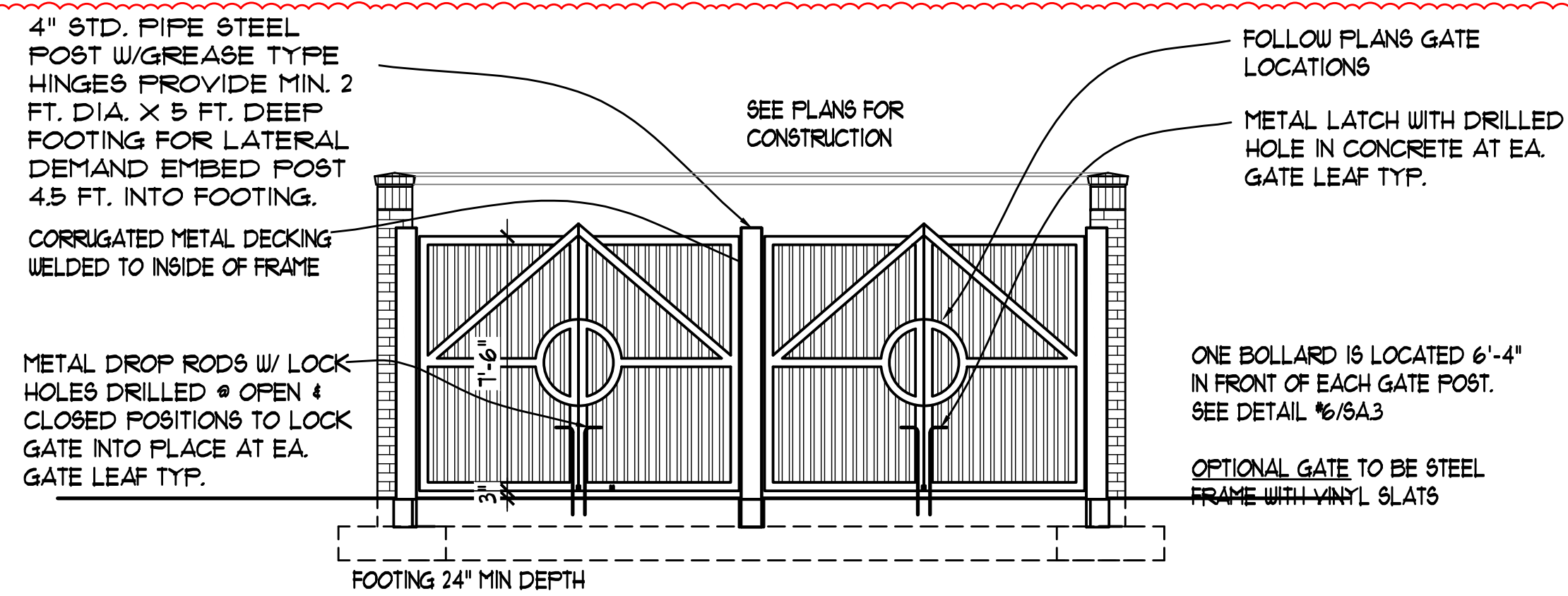
REVISIONS	02-18-22
PROJECT	2018-043
DATE	7-14-21
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SA.03

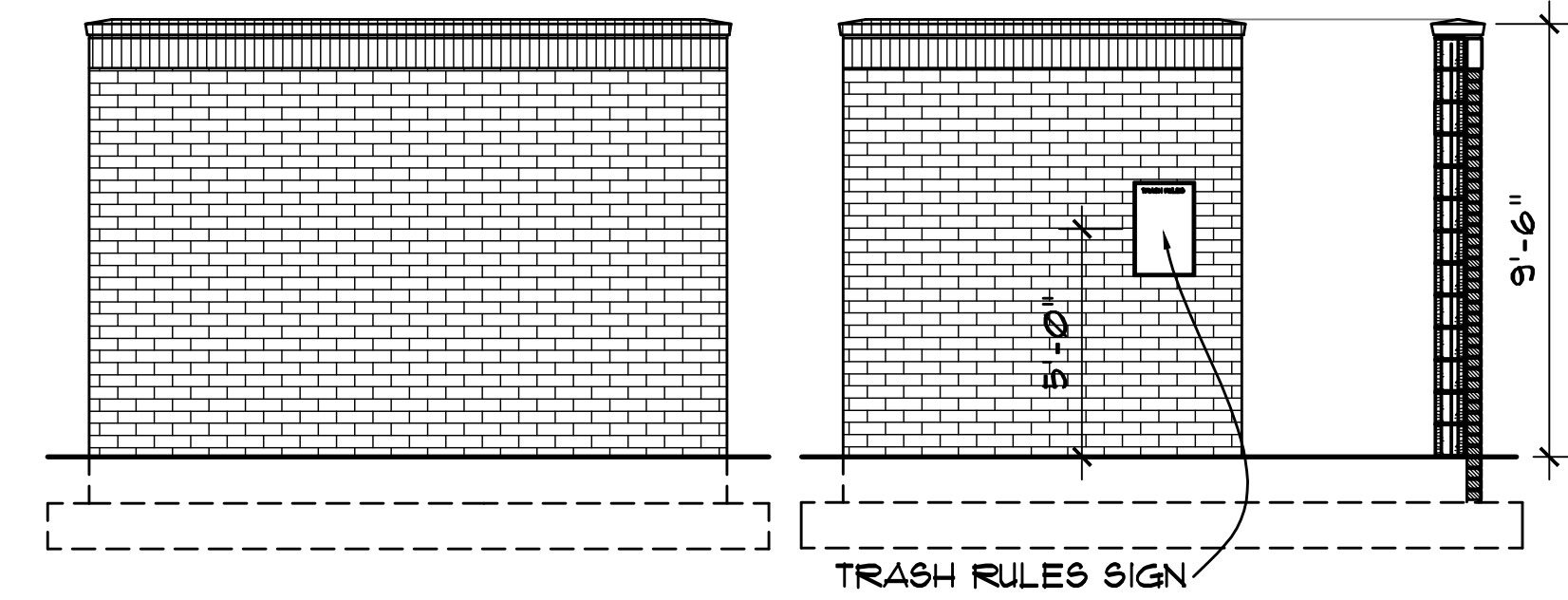


9 FRONT ELEVATION AT DUMPSTER/TRASH & RECYCLING ENCLOSURE
SCALE: 1/4" = 1'-0"

ELEVATIONS ARE SIMILAR TO PLANS

4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

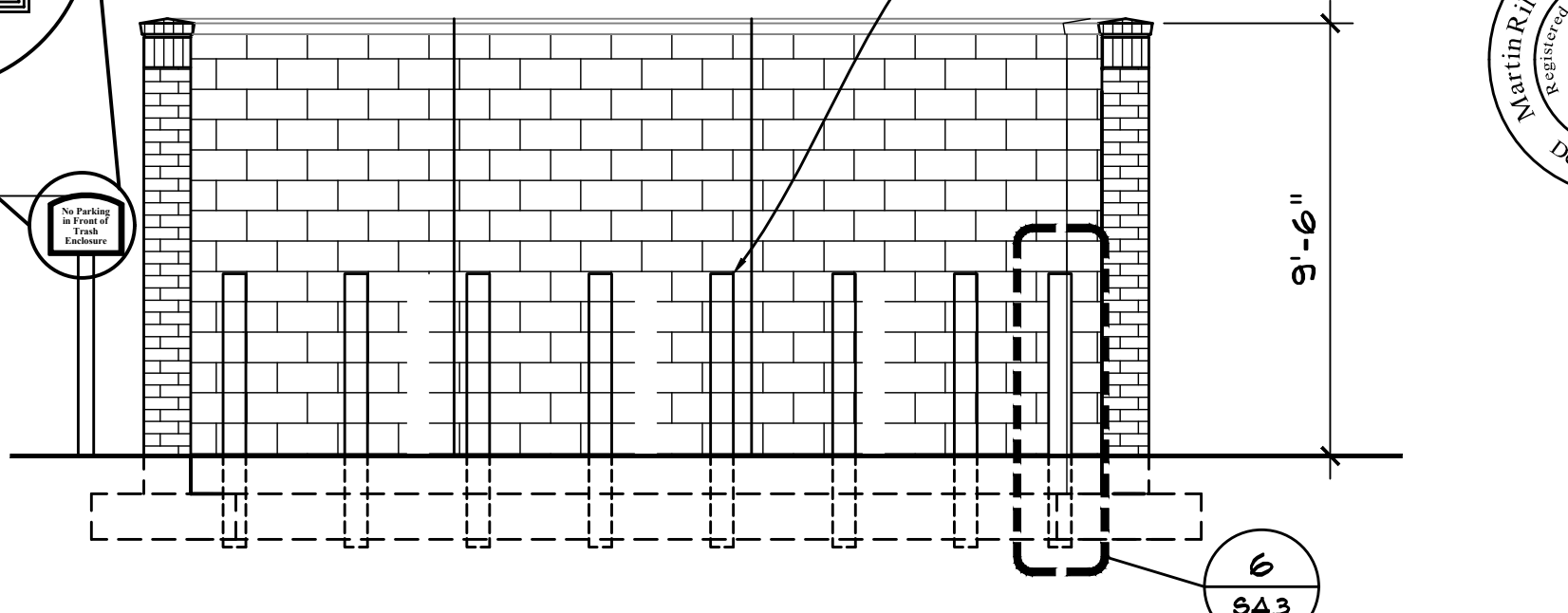
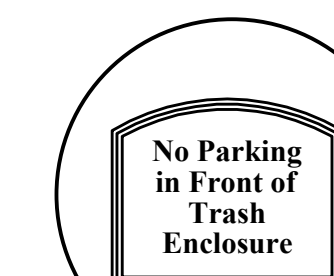
DO NOT SCALE DRAWINGS



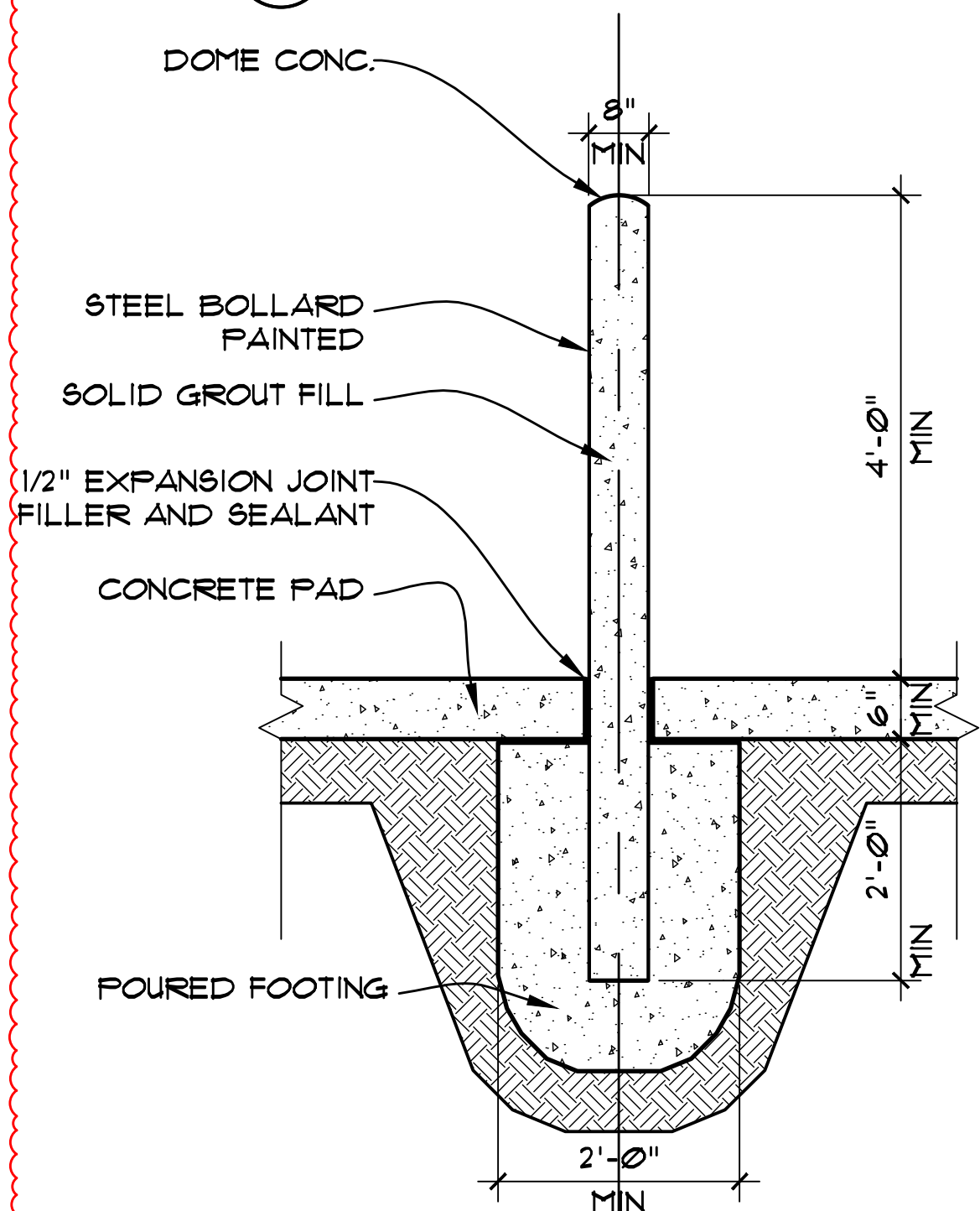
3b SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3a SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROVIDE EXT. BLOCK FILLER, PRIME, AND PAINT ALL CMU PER MFG. INSTRUCTIONS.

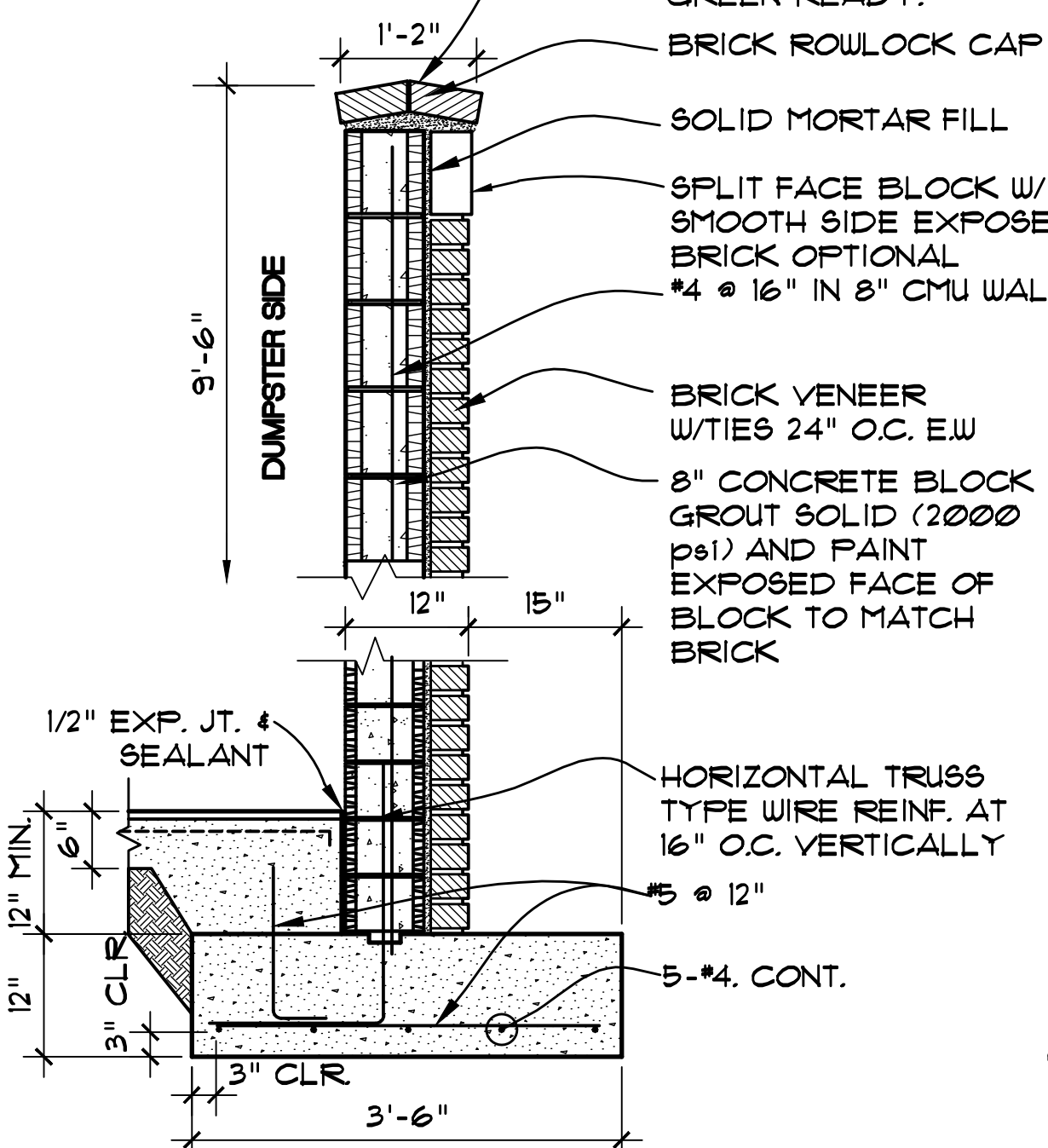
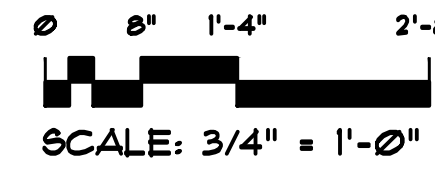


2 FRONT ELEVATION AT DUMPSTER SCREEN
SCALE: 1/4" = 1'-0"



3 TYPICAL BOLLARD SECTION AT DUMPSTER
SCALE: 3/4" = 1'-0"

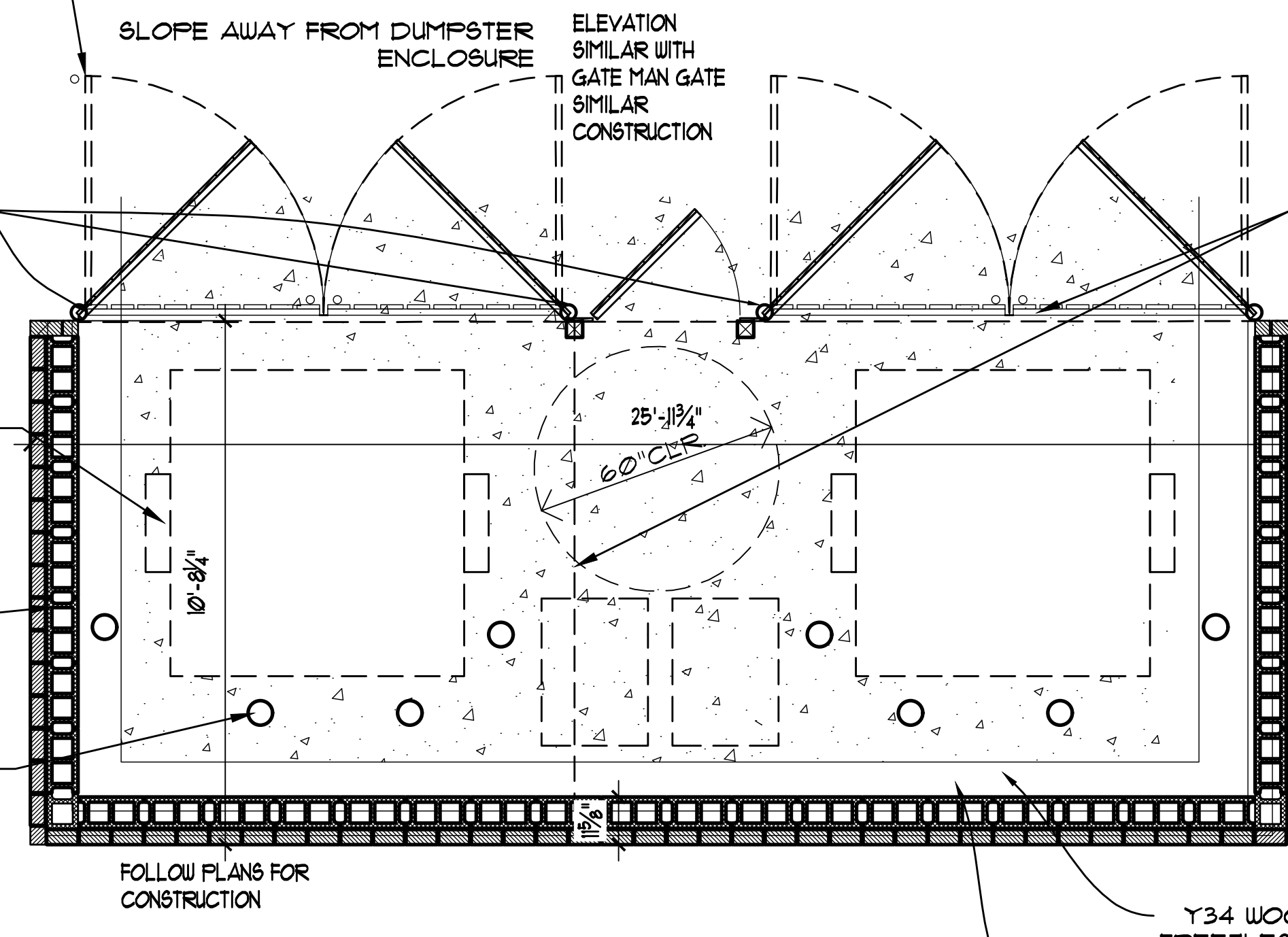
DROP-ROD HOLES IN OPEN AND CLOSED POSITION



7 TYPICAL MASONRY WALL SECTION AT DUMPSTER
SCALE: 3/4" = 1'-0"

6 NOT USED
SCALE: 3/8" = 1'-0"

SLOPE AWAY FROM DUMPSTER ENCLOSURE



5 DUMPSTER PLAN
SCALE: 3/8" = 1'-0" SEE SITE PLAN FOR LOCATION

DROP-ROD HOLES IN OPEN AND CLOSED POSITION

HSS 4x4x1/4" STL. TUBE POST AT GATE DOOR EMBEDDED IN CONC.

CONTROL JOINT

3,000 psi CONCRETE AT DUMPSTER PAD AREA, W/ 6x6 - W2.9xW2.9 W.W.M.

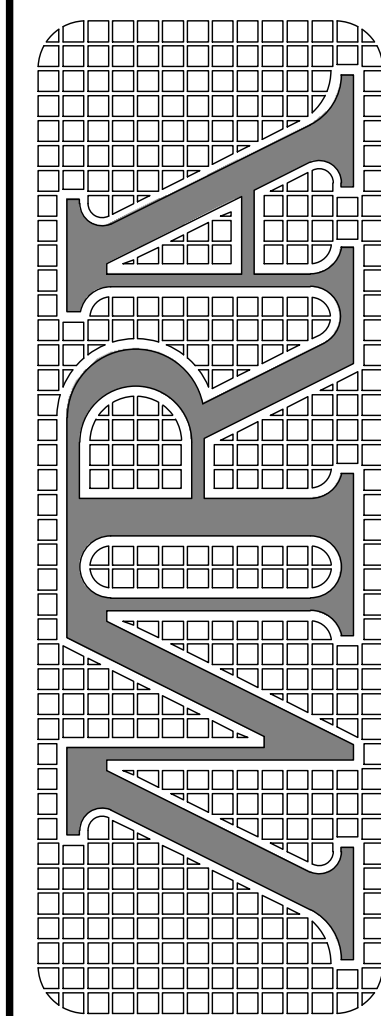
BRICK AND CMU OWNER TO SELECT BLOCK AND BRICK

6" #4 CONC. FILLED BOLLARD W/ PLASTIC WEATHER PROOF SLIP COVER, COLOR TO BE SAFETY YELLOW, TYP.

FOLLOW PLANS FOR CONSTRUCTION

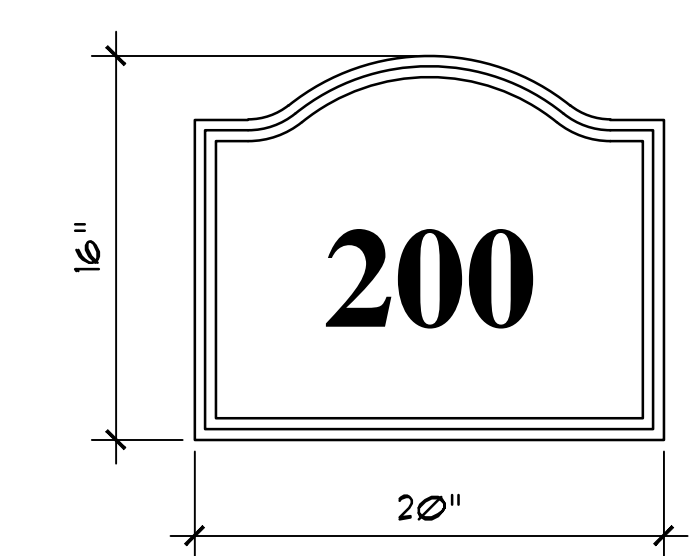
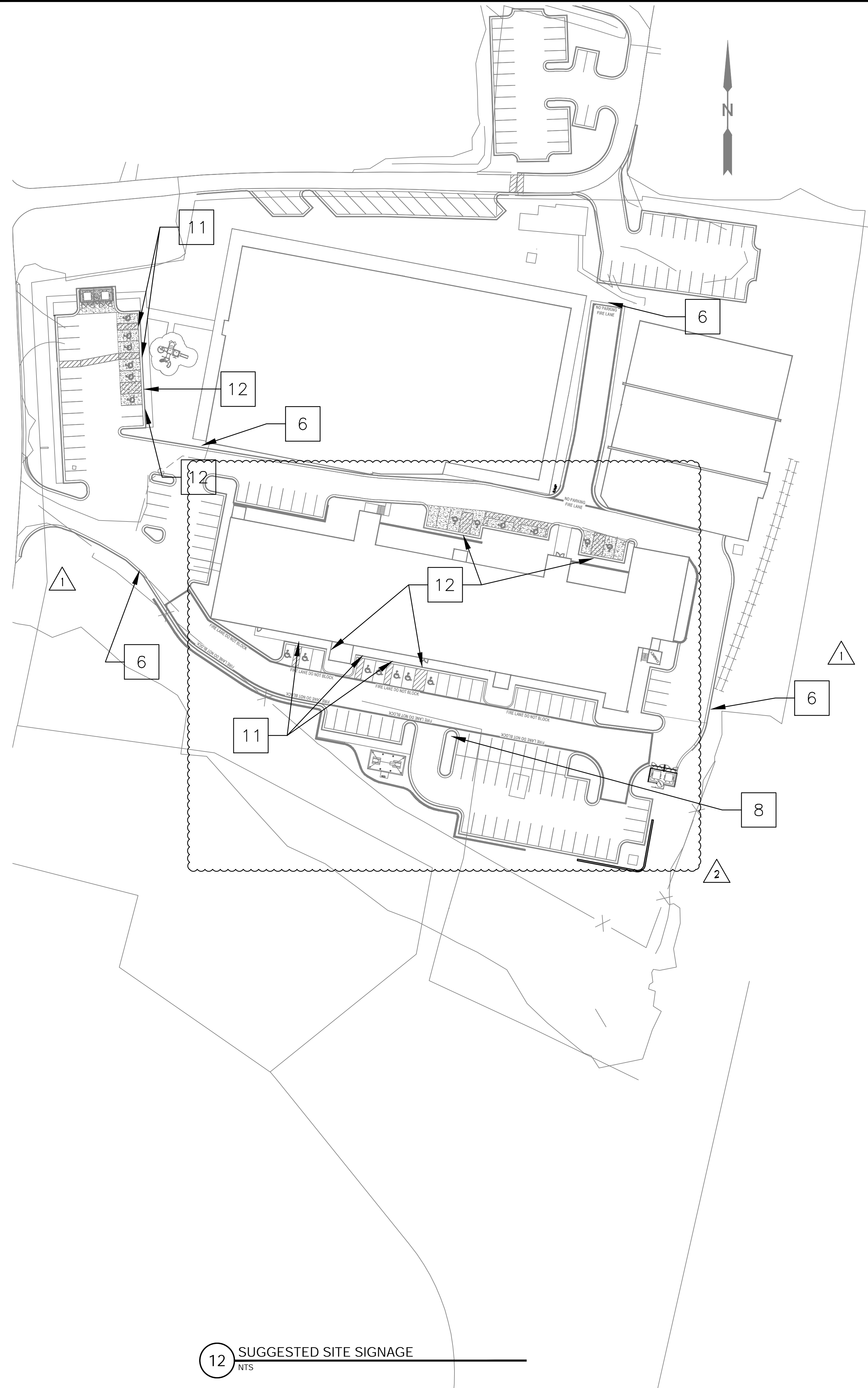
1 DUMPSTER PLAN
SCALE: 3/8" = 1'-0" SEE SITE PLAN FOR LOCATION

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TRASH ENCLOSURE AND DETAILS



SA.3

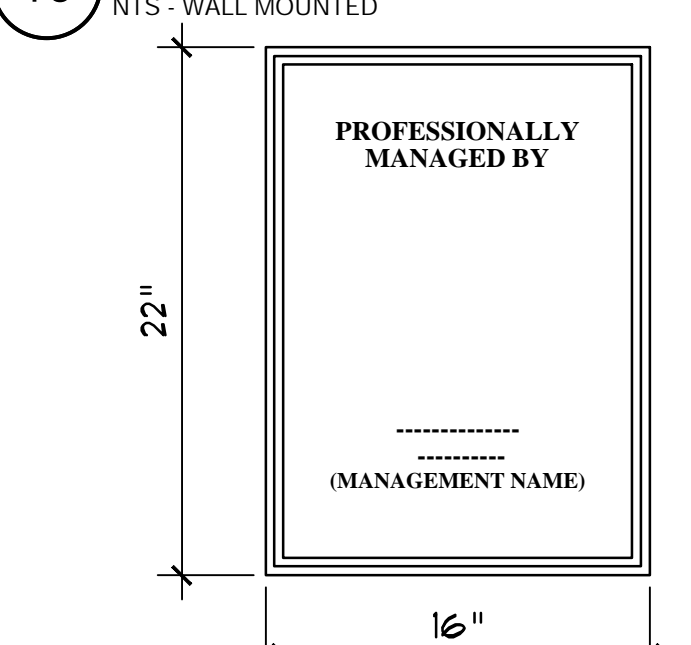
EXTERIOR SIGNS



10 BUILDING NUMBER
NTS - WALL MOUNTED



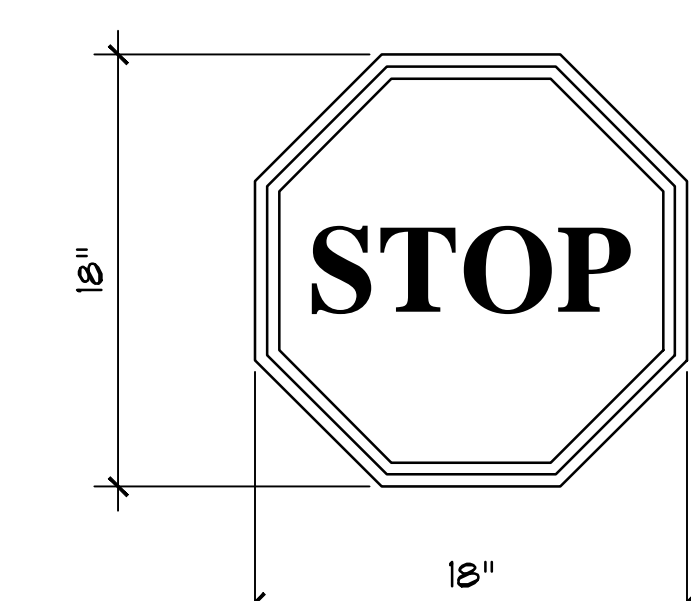
5 OFFICE HOURS
NTS - WALL MOUNTED



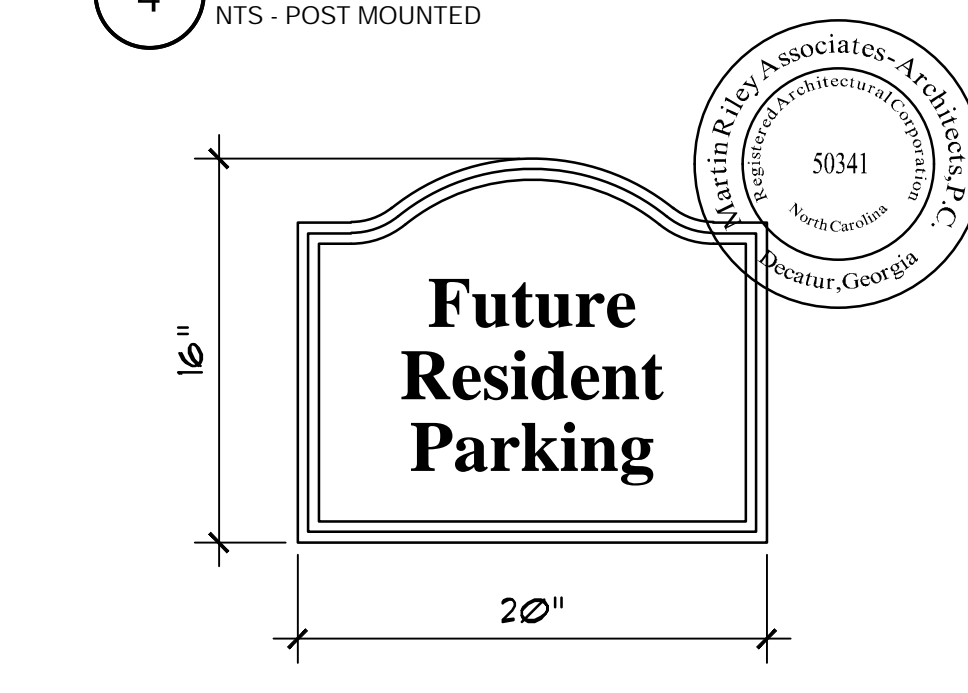
9 PROFESSIONAL MANAGEMENT
NTS - WALL MOUNTED



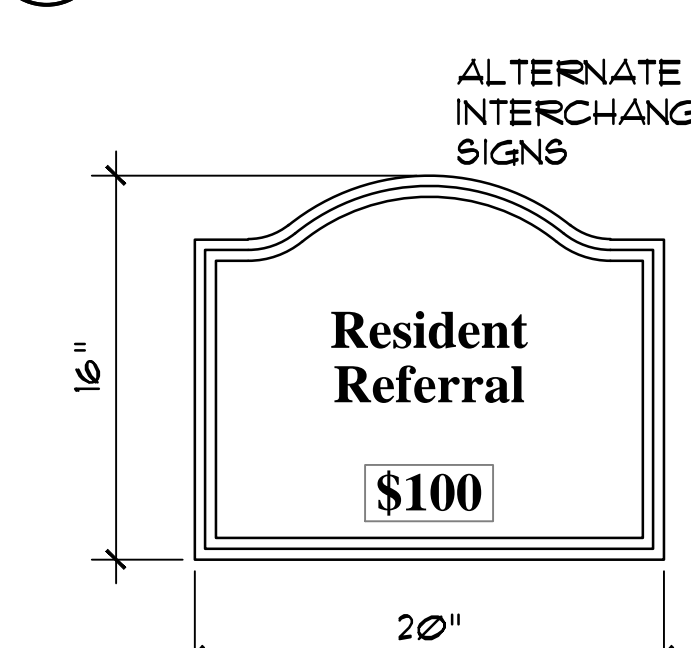
4 WELCOME HOME
NTS - POST MOUNTED



8 NOT USED
NTS - POST MOUNTED



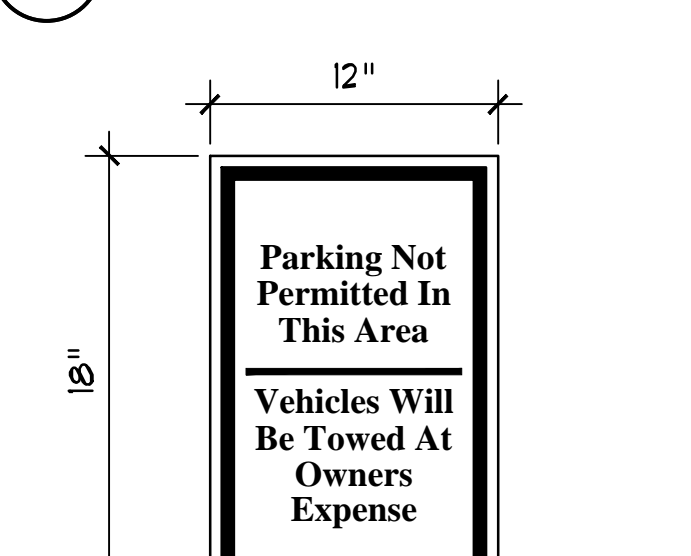
3 FUTURE RESIDENT PARKING
NTS - POST MOUNTED



7 RESIDENT REFERRAL
NTS - POST MOUNTED



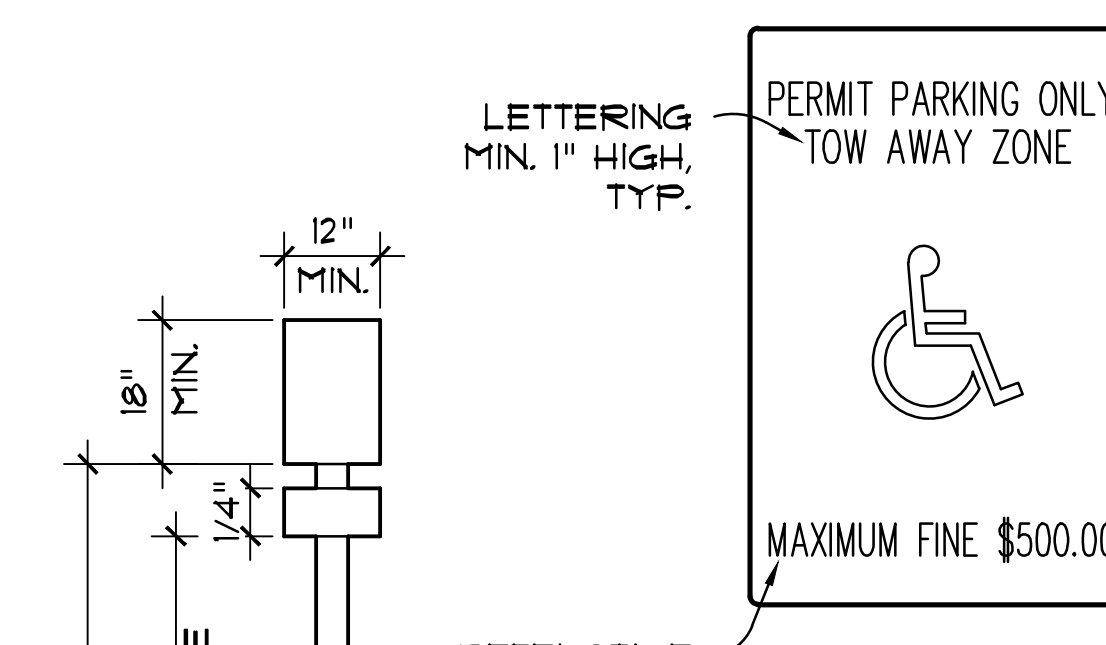
2 VISITOR PARKING
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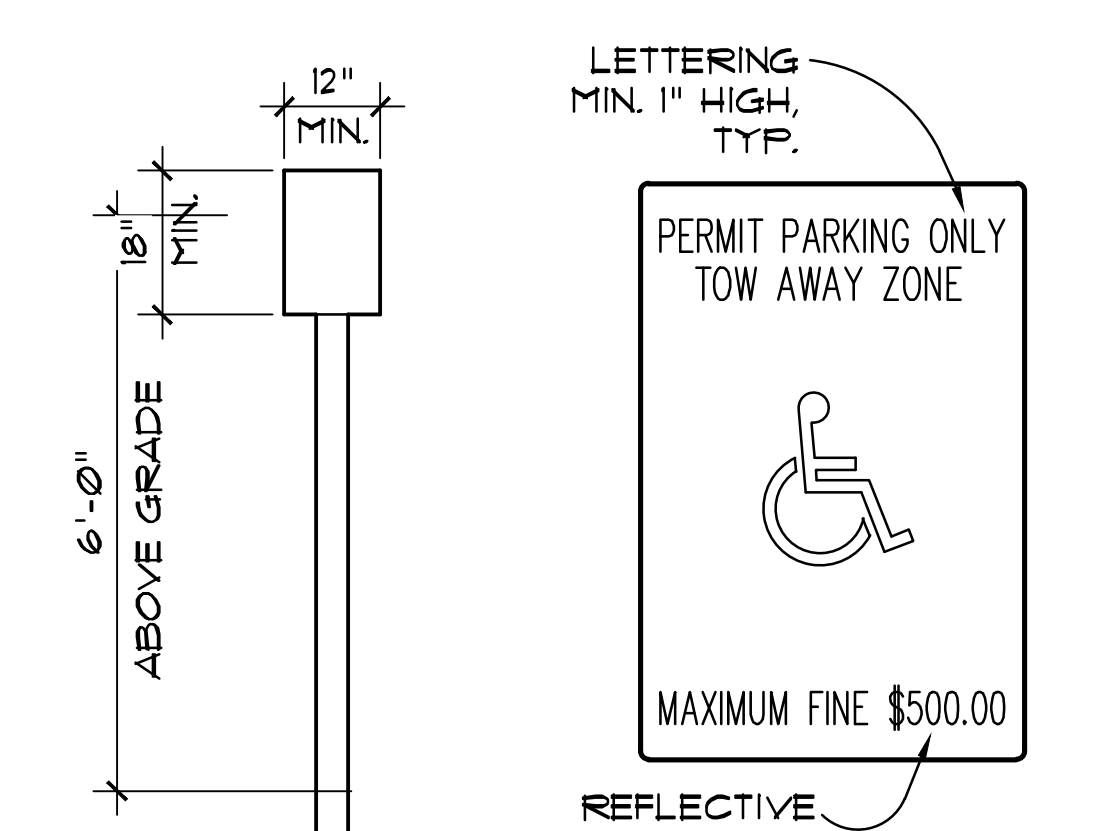
6 NO PARKING
NTS - POST MOUNTED



1 PRIVATE PROPERTY
NTS - POST MOUNTED

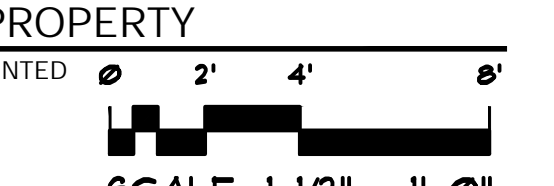


12 VAN ACCESSIBLE PARKING SIGN
NTS - POST MOUNTED



11 HANDICAP PARKING SIGN
NTS - POST MOUNTED

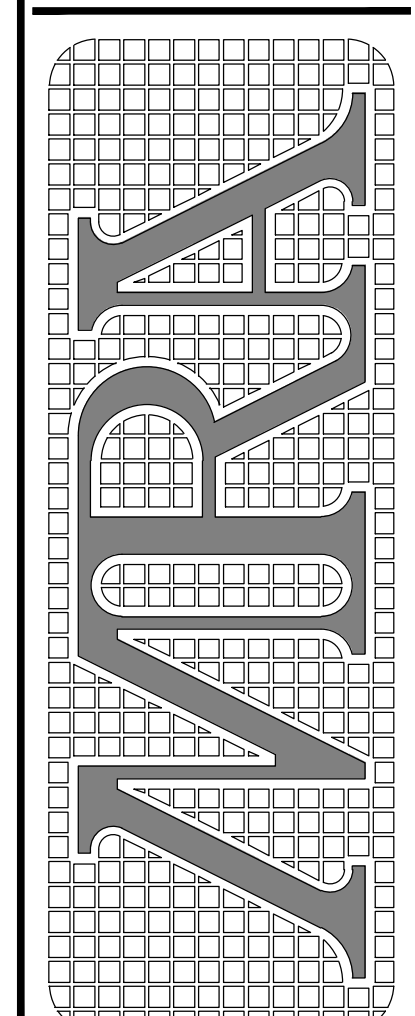
12 SUGGESTED SITE SIGNAGE
NTS



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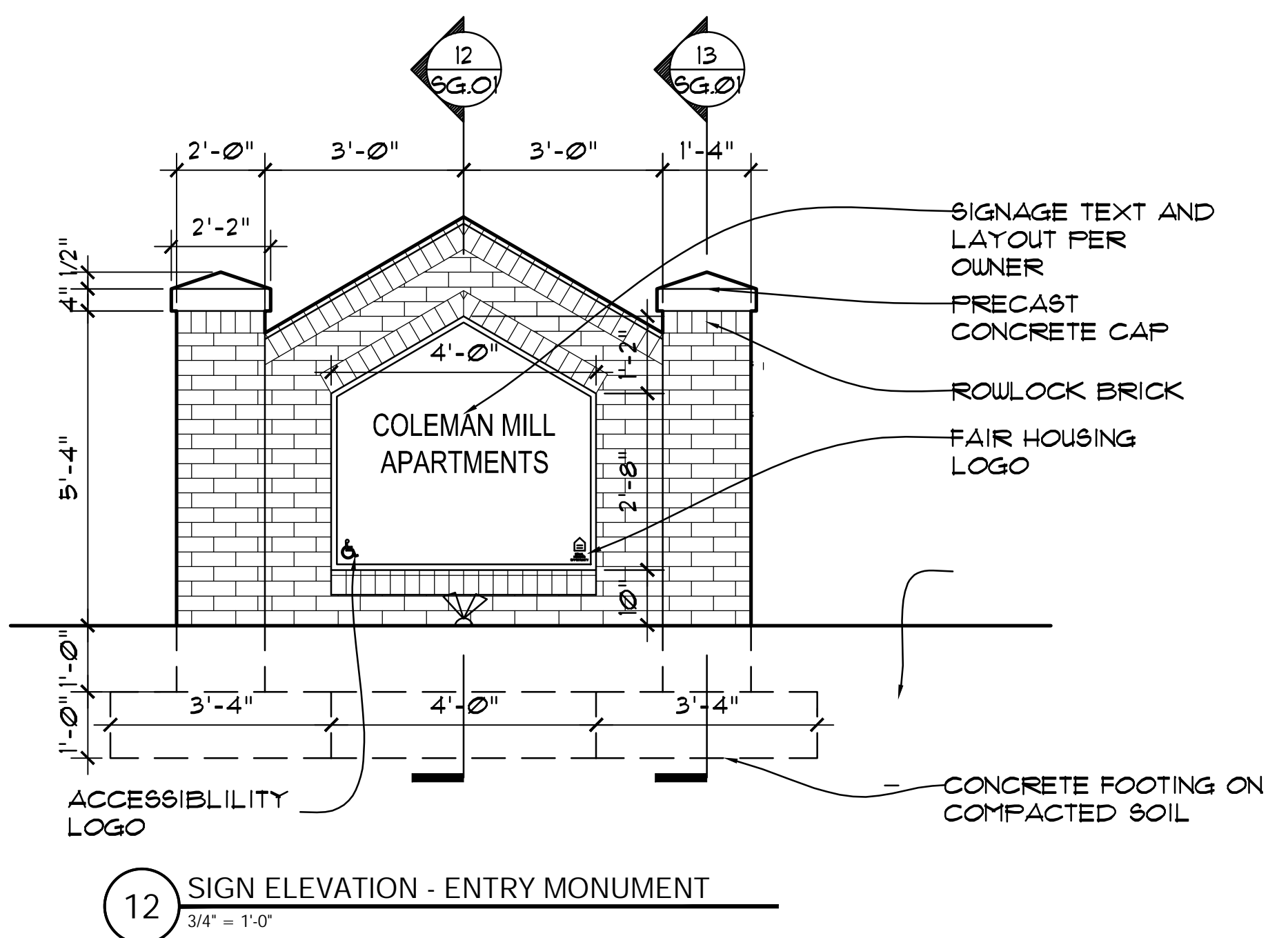
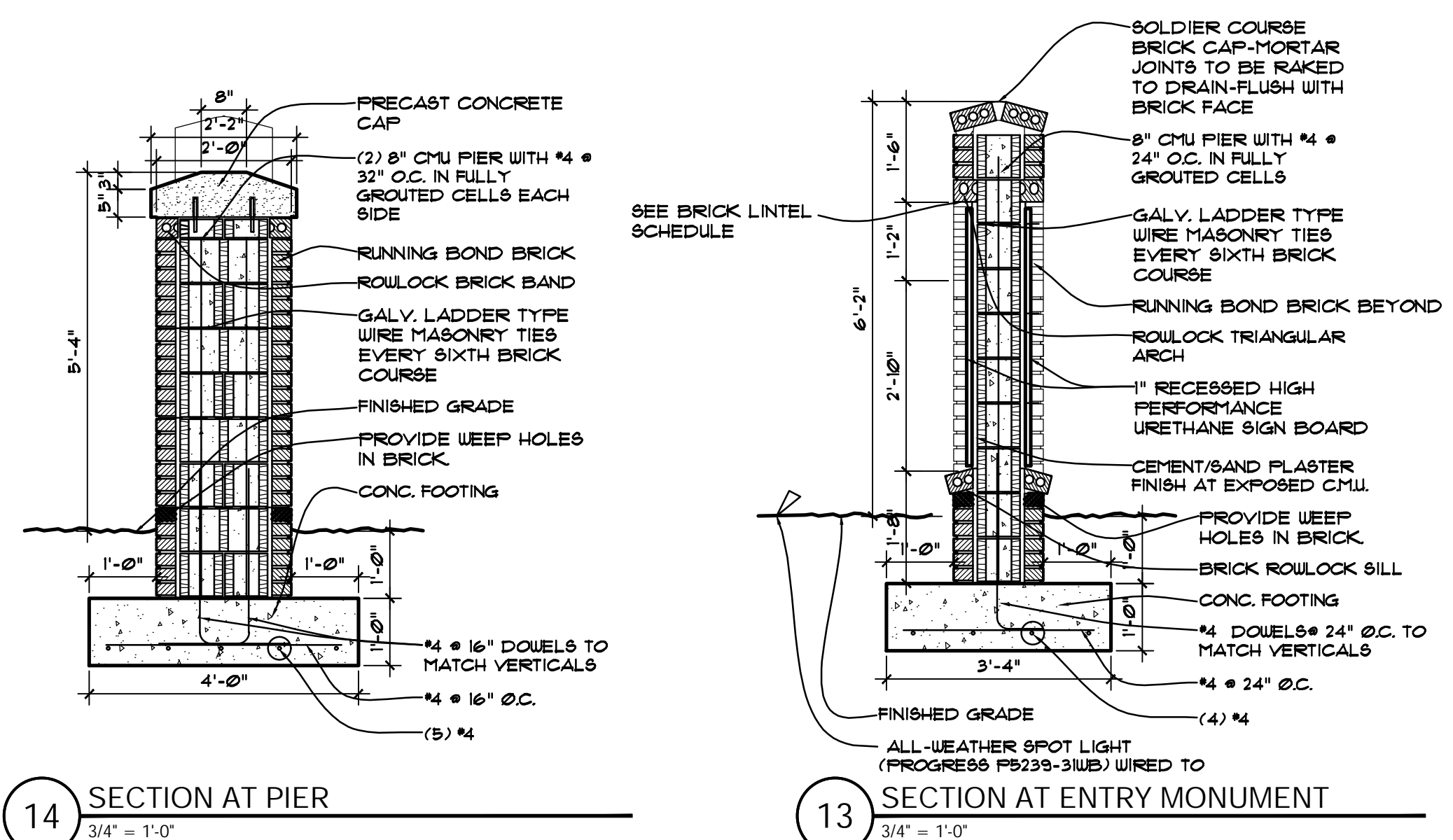
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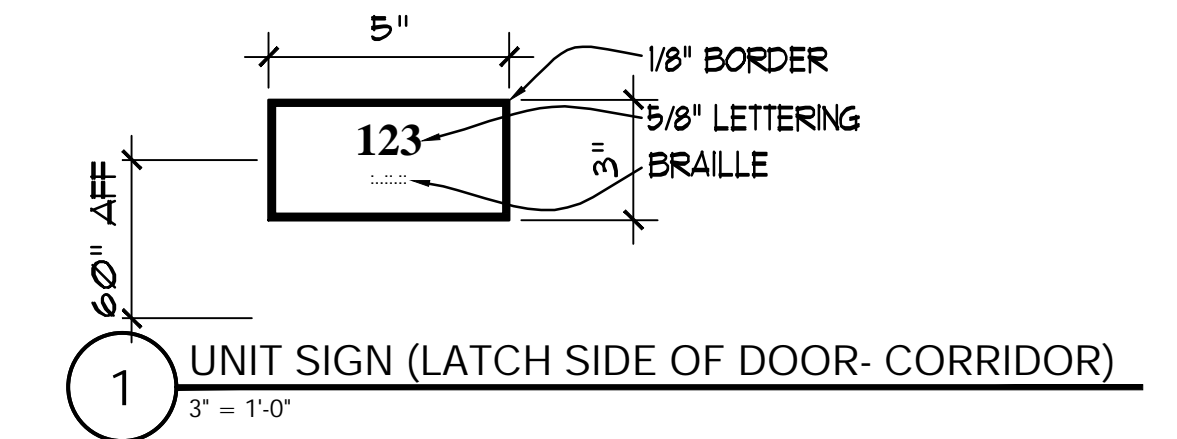
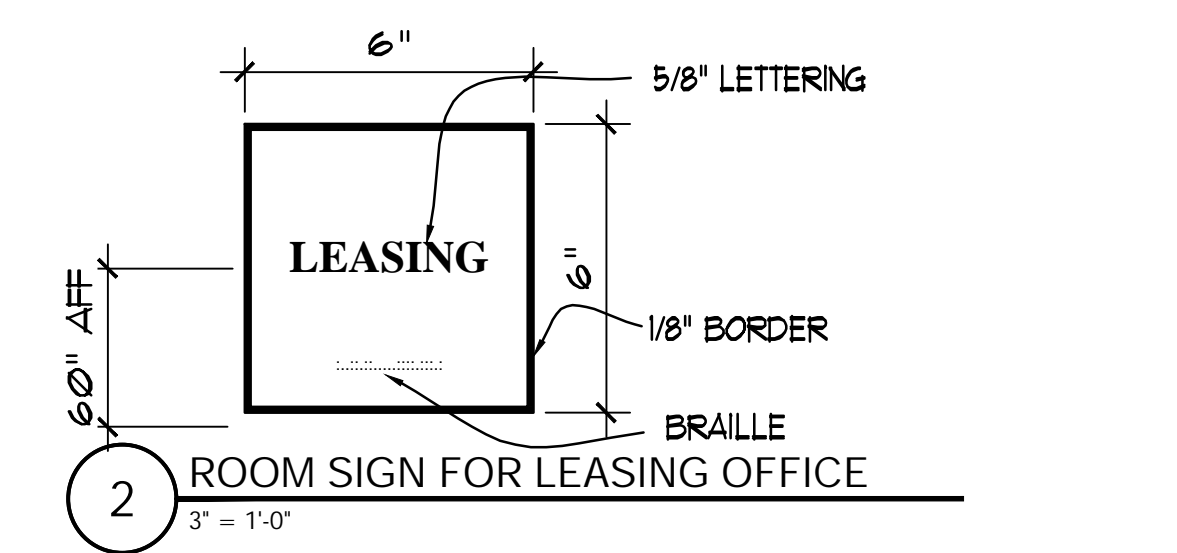
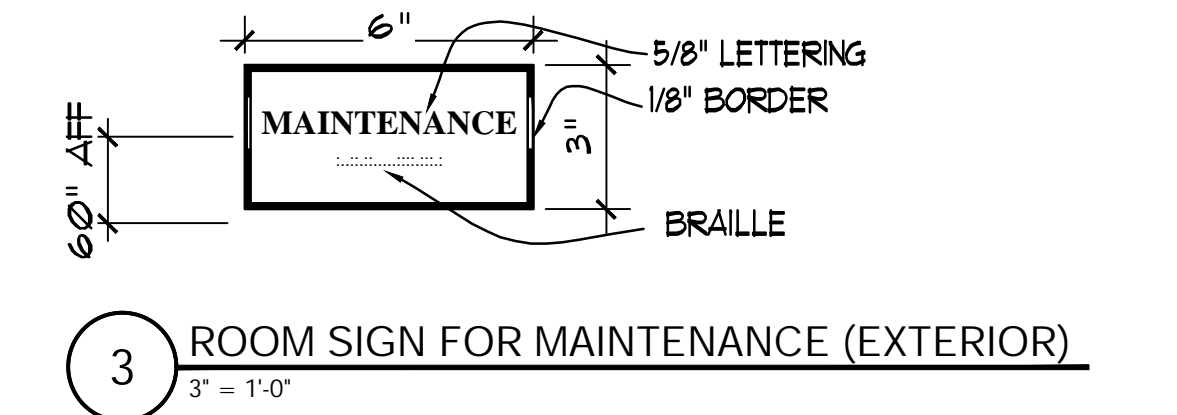
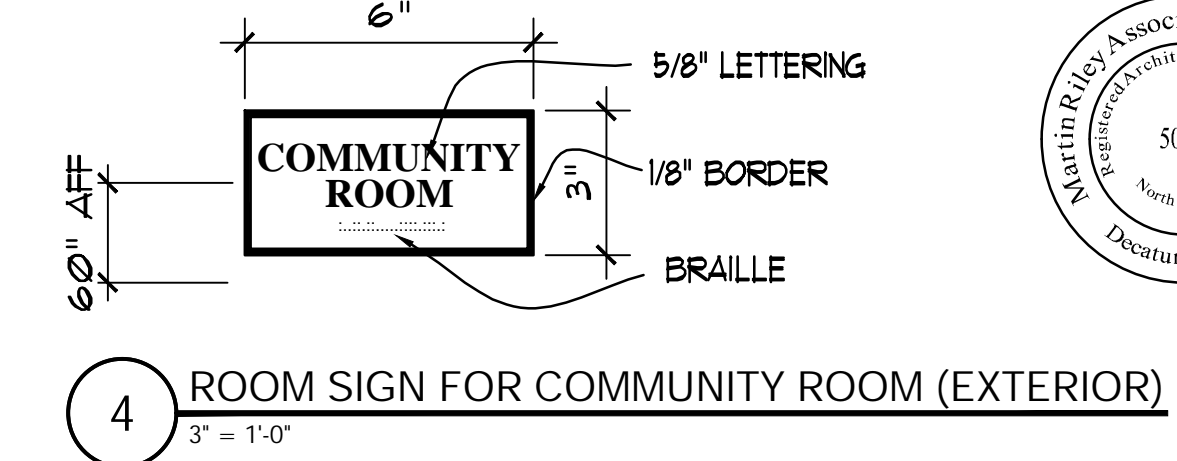
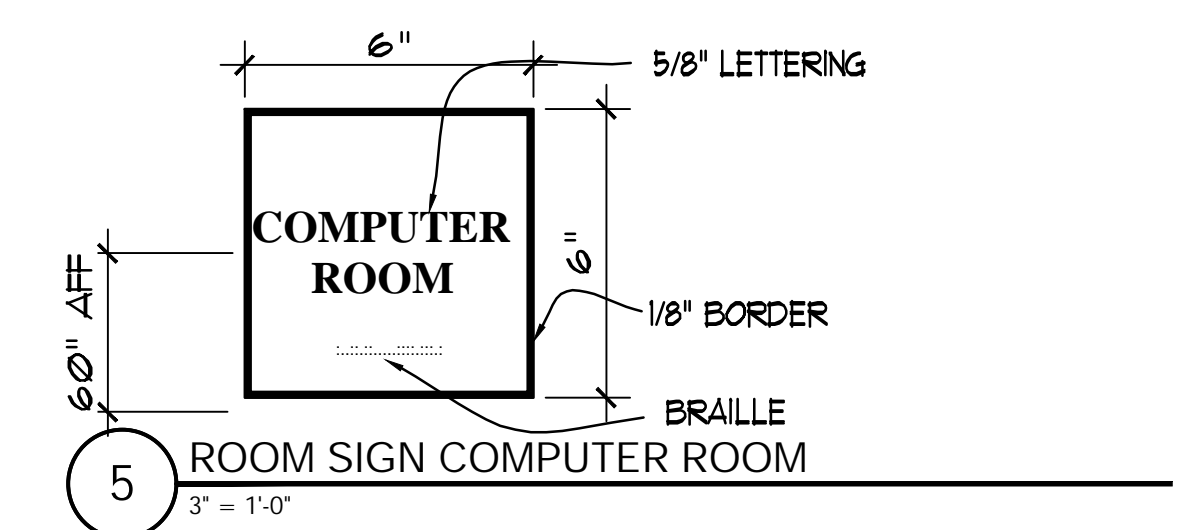
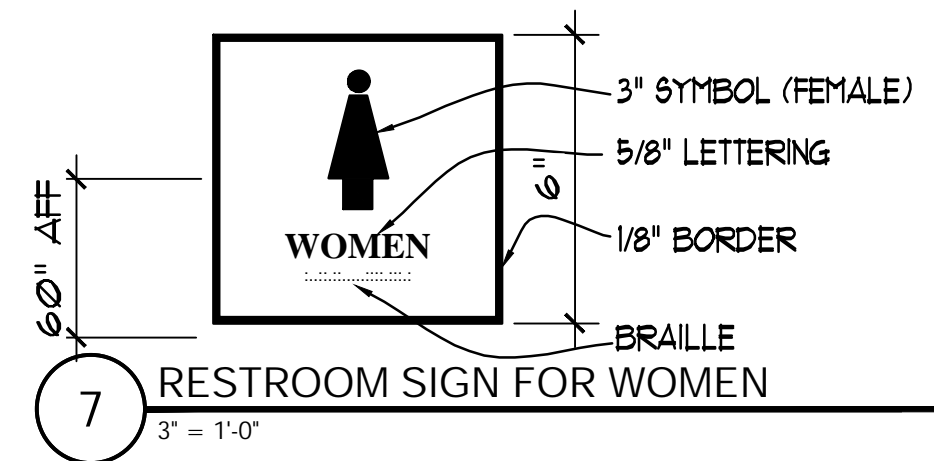
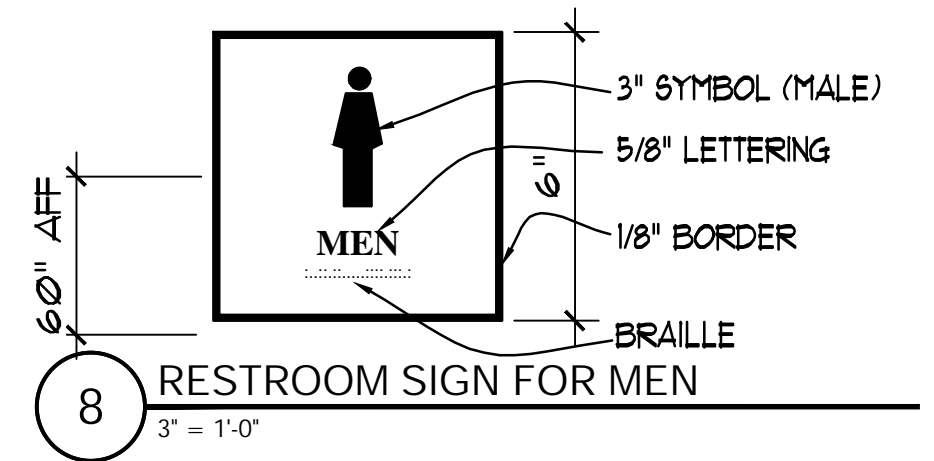
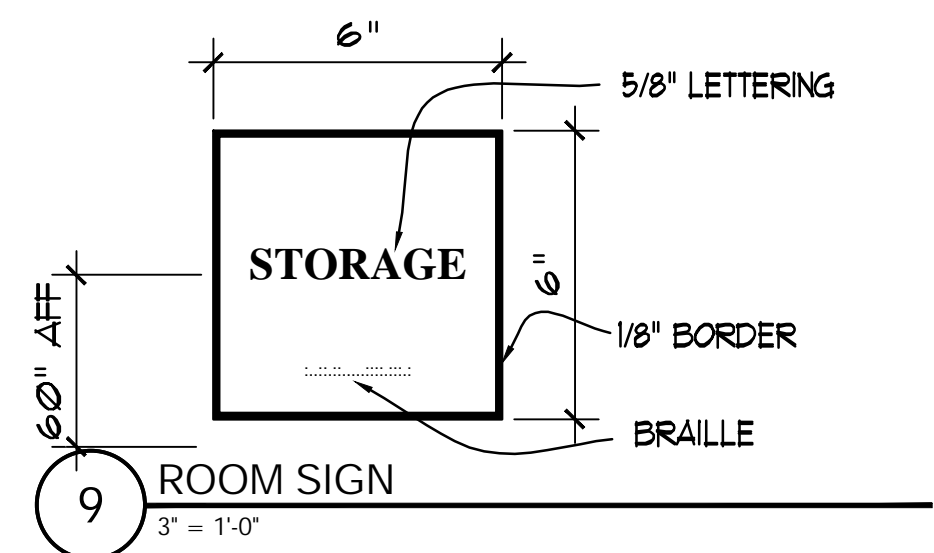
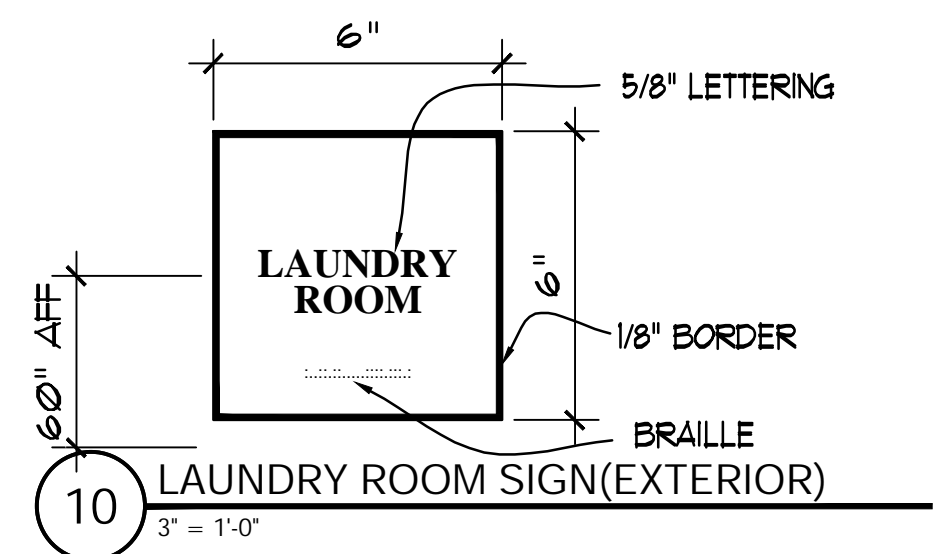
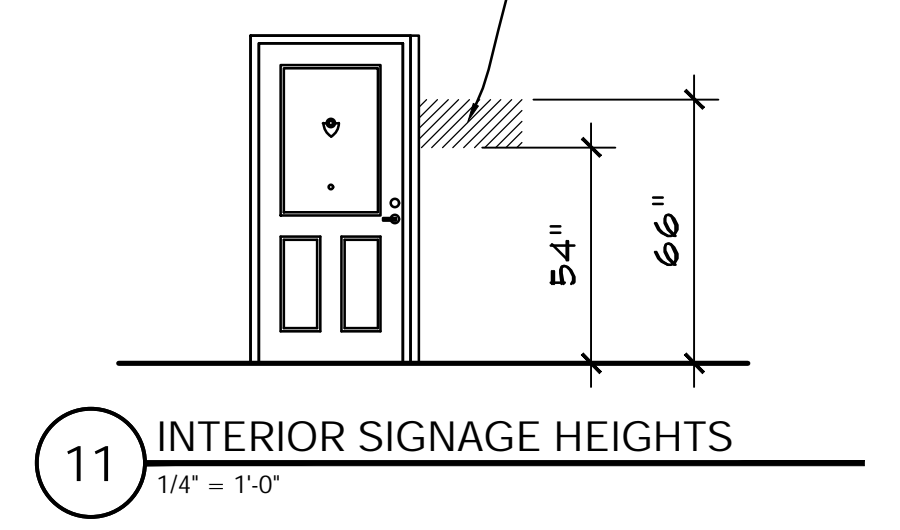
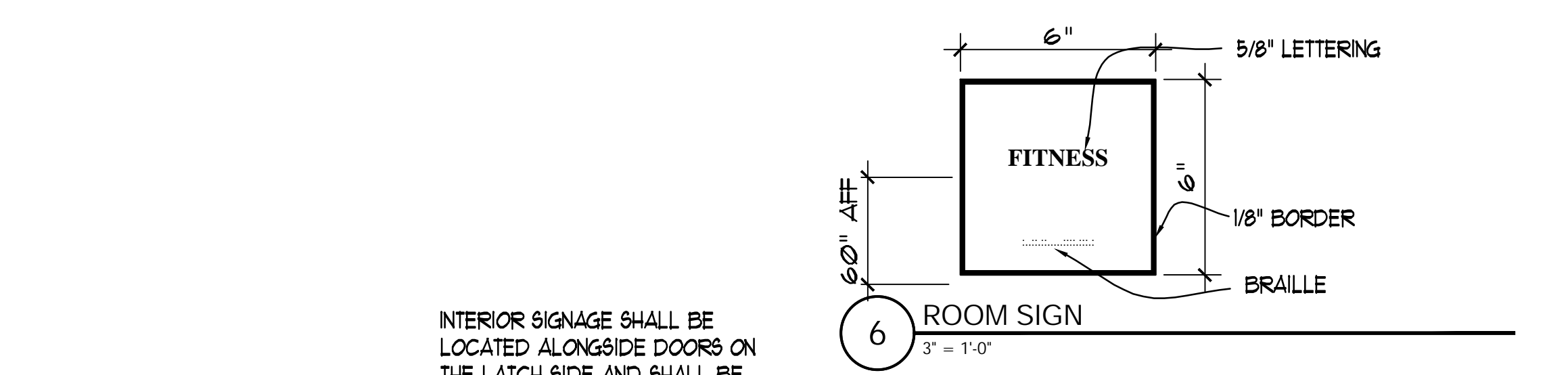
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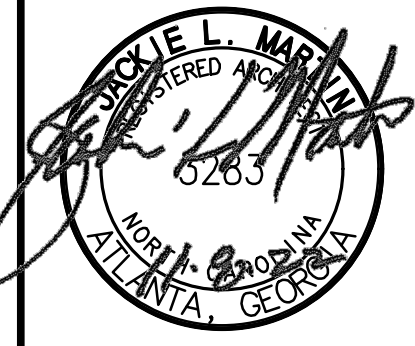


GENERAL INTERIOR SIGNAGE NOTES:

1. ALL INTERIOR SIGNAGE TO BE EQUAL TO MOHAWK SERIES 200A. COLORS AS SELECTED BY ARCHITECT. (EXTERIOR SIMILAR WHERE INDICATED).
2. LETTERING ON SIGNAGE TO BE TIMES NEW ROMAN BOLD.
3. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH- TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE -WIDTH -TO -HEIGHT RATIO BETWEEN 1:5 AND 1:10.
4. LETTERS AND NUMBERS SHALL BE RAISED 1/32", UPPERCASE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE.
5. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH BUT NO HIGHER THAN 2".
6. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE OR OTHER NON GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND.
7. WALL MOUNTED SIGNAGE SHALL BE AFFIXED WITH SILASTIC ADHESIVE - VINYL FOAM TAPE MAY BE USED AS A TEMPORARY POSITIONING ADHESIVE.
8. SIGN TO BE MOUNTED 2" FROM THE DOOR FRAME ON THE LATCH SIDE

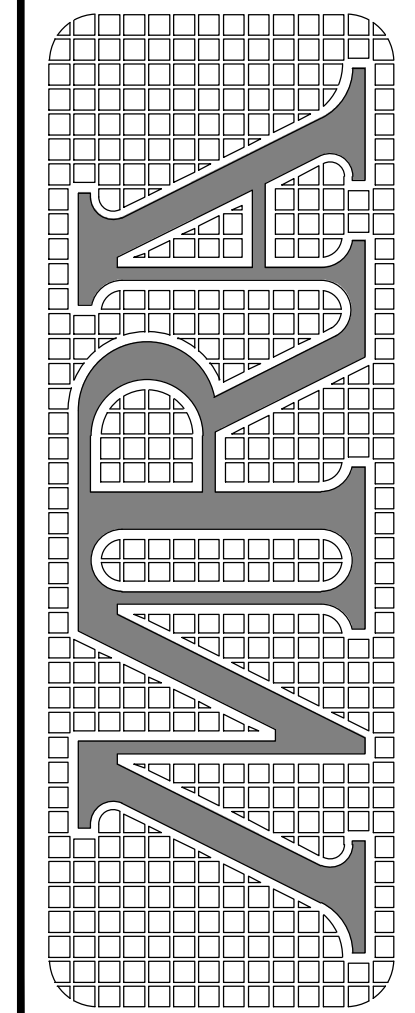


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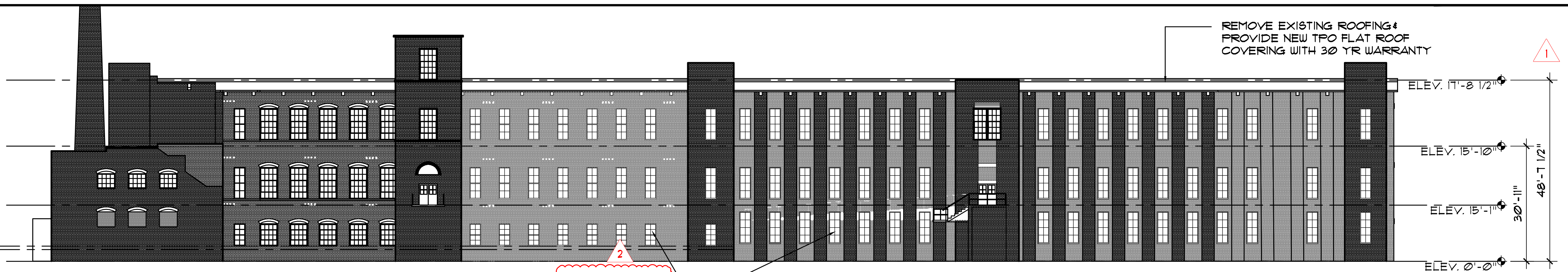
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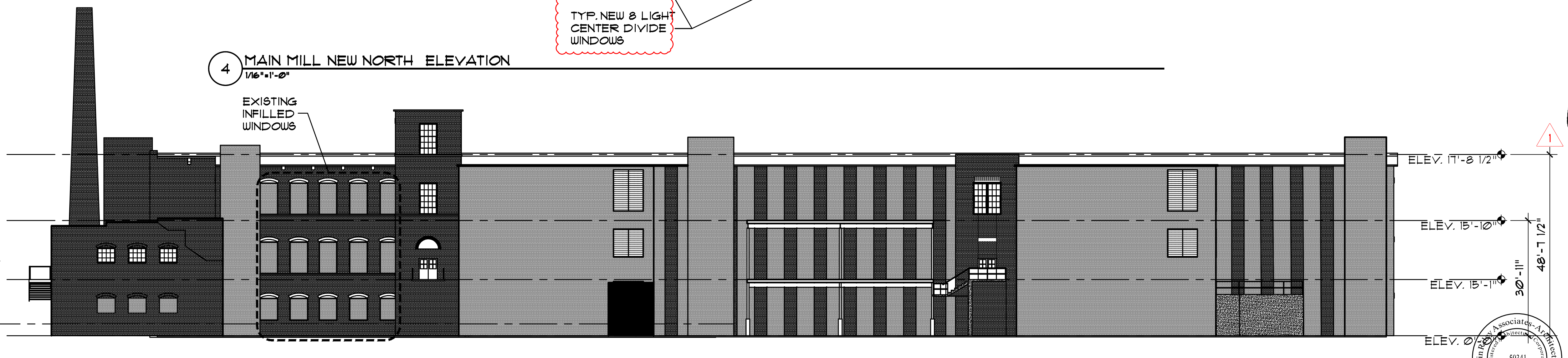
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DEMO NOTES (ALL BUILDINGS):

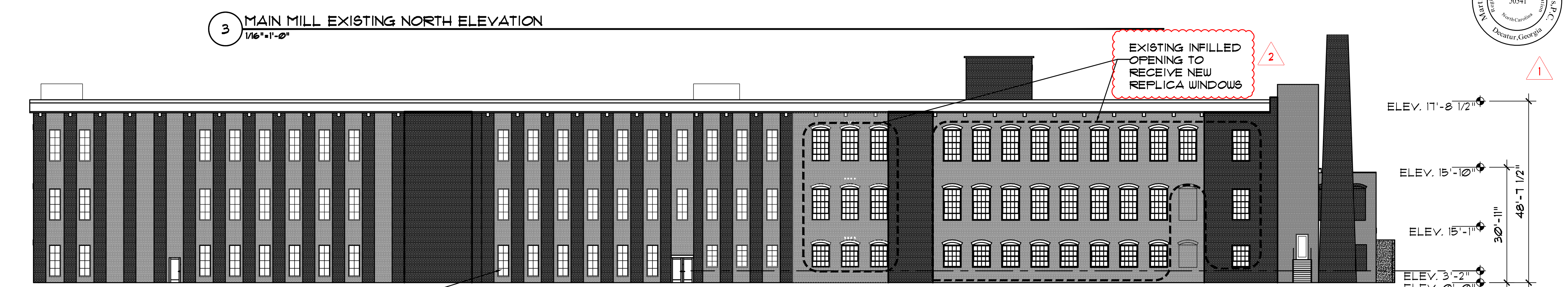
1. REFERENCE MPE DRAWINGS FOR ADDITIONAL NOTES AND REQUIREMENTS
2. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND REQUIREMENTS
3. REFERENCE BUILDING PLANS FOR UNIT NUMBERS.
4. REFERENCE HANDICAP AND FAIR HOUSING NOTES/SHEET FOR ADDITIONAL REQUIREMENTS.
5. FIELD VERIFY ALL DIMENSIONS, INCLUDING DOORS AND WINDOWS.
6. RESTORE EXISTING ITEMS TO ORIGINAL CONDITION THAT REMAIN INTACT SUCH AS TRIMS, PLASTER CEILINGS, WOOD FLOORINGS, WALL MATERIALS, CEILINGS, AND OTHER ITEMS NOT NOTED.
7. REPAIR DAMAGE TO EXISTING SURFACES DURING INSTALLATION AND CONSTRUCTION.
8. TAKE PICTURES BEFORE THE START OF WORK, AND AFTER INSTALLATION OF NEW WORK. SEND ONE DIGITAL COPY TO OWNER AND ARCHITECT WITH DESCRIPTION OF LOCATION AND WORK.
9. WHEN COMPLETING WALL DEMOLITION PATCH, FINISHES NECESSARY TO MATCH ADJACENT WALLS.
10. GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE THE START OF WORK, AND IS RESPONSIBLE FOR VERIFICATION OF ALL DEMOLITION CONDITIONS INCLUDING FINISHES AND MATERIALS AS NOTED IN THESE DRAWINGS AND THE SCOPE OF WORK. FIELD VERIFY PRIOR TO BIDDING. ANY AMBIGUOUS ITEMS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.
11. WHERE AN EXISTING FINISH SURFACE IS TO REMAIN, REPAIR AND PATCH ALL LOCATIONS ASSOCIATED WITH DEMOLITION AND REMOVAL OF ADJACENT FINISHES, FRAMING, FASTENERS, ETC.
12. ADDITIONAL DEMOLITION INFORMATION SPECIFIC TO TRADE IS IDENTIFIED WITHIN SITE, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION DRAWINGS. REVIEW ALL SECTIONS AND OTHER DRAWINGS FOR FULL SCOPE OF DEMOLITION AS REQUIRED.
13. PROTECT ALL MATERIALS, DOORS/FRAMES, AND FINISHES THAT ARE TO REMAIN AT COMPLETION.
14. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY MEASURES REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AFTER ANY DEMOLITION WHICH RENDERS ANY PART OF THE BUILDING STRUCTURALLY UNSTABLE.
15. NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. GENERAL CONTRACTOR SHALL INSURE THAT TEMPORARY PROTECTION FROM WEATHER IS PROVIDED AND INSTALLED AT ALL EXPOSED OPENINGS.
16. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK. MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR. GENERAL CONTRACTOR SHALL IDENTIFY ALL MASONRY DEMOLITION WORK BEFORE THE START OF BIDDING.
17. PATCH EXISTING CONCRETE SURFACES FOR CRACKS, SPALLING, AND CHIPS NOT NOTED ON DOCUMENTS. AREAS SHALL BE PATCHED TO MATCH ADJACENT SURFACE FINISH, TEXTURE, AND COLOR BEFORE BIDDING OR START OF WORK.
18. PERFORM ALL WORK ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND WRITTEN INSTRUCTIONS.
19. FOLLOWING ANY DEMOLITION AND/OR REMOVAL, PATCH AND REPAIR ALL EXISTING DISTURBED SUBSTRATES AND FINISHES TO MATCH EXISTING SUBSTRATES AND FINISHES, OR PREPARE EXISTING ADJACENT CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION AND SCHEDULED FINISHES.
20. PREP ALL WALLS, FLOORS, AND CEILINGS FOR NEW FINISH AND PAINTS.
21. REMOVE ALL EXISTING ROOFING.
22. REPLACE ROOFING WITH NEW EPDM OR TPO. CHECK AND REPLACE ALL DAMAGED SUBSTRATE. REPLACE ALL PARAPET FLASHING, PIPE FLASHING, AND OTHER APPURTENANCES ASSOCIATED WITH ROOFING. 30-YEAR ROOFING WARRANTY.
23. SURVEY THE ROOF BEFORE THE START OF WORK OR BIDDING, AND REQUEST CLARIFICATION OF ANY QUESTION OR DISCREPANCIES FROM THE ARCHITECT BEFORE THE START OF WORK.
24. REMOVE ALL "RUST AND CORROSION. FROM DOOR, WINDOW, PIPE COLUMNS, LINTELS. CLEAN, PRIME, AND REPAINT STEEL LINTELS.
25. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK. MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR.
29. GUTTER SIZES SHALL BE CALCULATED BY CONTRACTOR ACCORDING TO DESIGN CRITERIA BY AHJ. SUBMIT CALCULATION TO ARCHITECT WITH ROOFING SHOP DRAWINGS. INSTALL GUTTERS WITH ADEQUATE SLOPE TO PROVIDE POSITIVE DRAINAGE TO DOWNSPOUTS. PROVIDE GALVANIZED BRACKETS MATCHING DOWNSPOUT COLOR. PROVIDE GALVANIZED METAL (OR SIMILAR) LEADER TO DRAIN TILE BELOW GRADE OR PER CIVIL DRAWINGS.
30. REMOVE ALL VEGETATION GROWING ON BUILDING.
31. REMOVE ALL GRAFFITI, ATTACHED PLYWOOD AND FASTENERS, OR MATERIAL NOT CONGRUENT OR ARCHITECTURALLY PART THE STRUCTURE, FACADE, OR SITE.
32. ALL ITEMS OF HISTORIC VALUE ON SITE SHALL REMAIN UNCHANGED OR MODIFIED. CONTACT THE ARCHITECT IF QUESTION ARISE AS TO THE HISTORIC VALUE OF AN ITEM OR ANY COMPONENT. DIGITAL PICTURES ARE TO BE TAKEN OF ALL HISTORIC ITEMS FOR OWNERS USE. EXAMPLE: WINDOWS ARE TO REMAIN UNLESS BLOCKING NEW WORK.
33. SAND AND REFINISH EXISTING METAL SIDING.



4 MAIN MILL NEW NORTH ELEVATION
1/16"=1'-0"



3 MAIN MILL EXISTING NORTH ELEVATION
1/16"=1'-0"



2 MAIN MILL NEW SOUTH ELEVATION
1/16"=1'-0"



1 MAIN MILL EXISTING SOUTH ELEVATION
1/16"=1'-0"

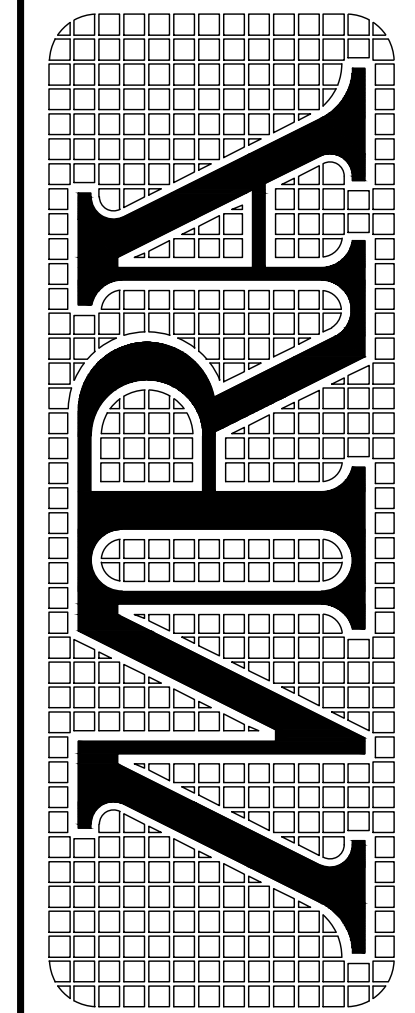
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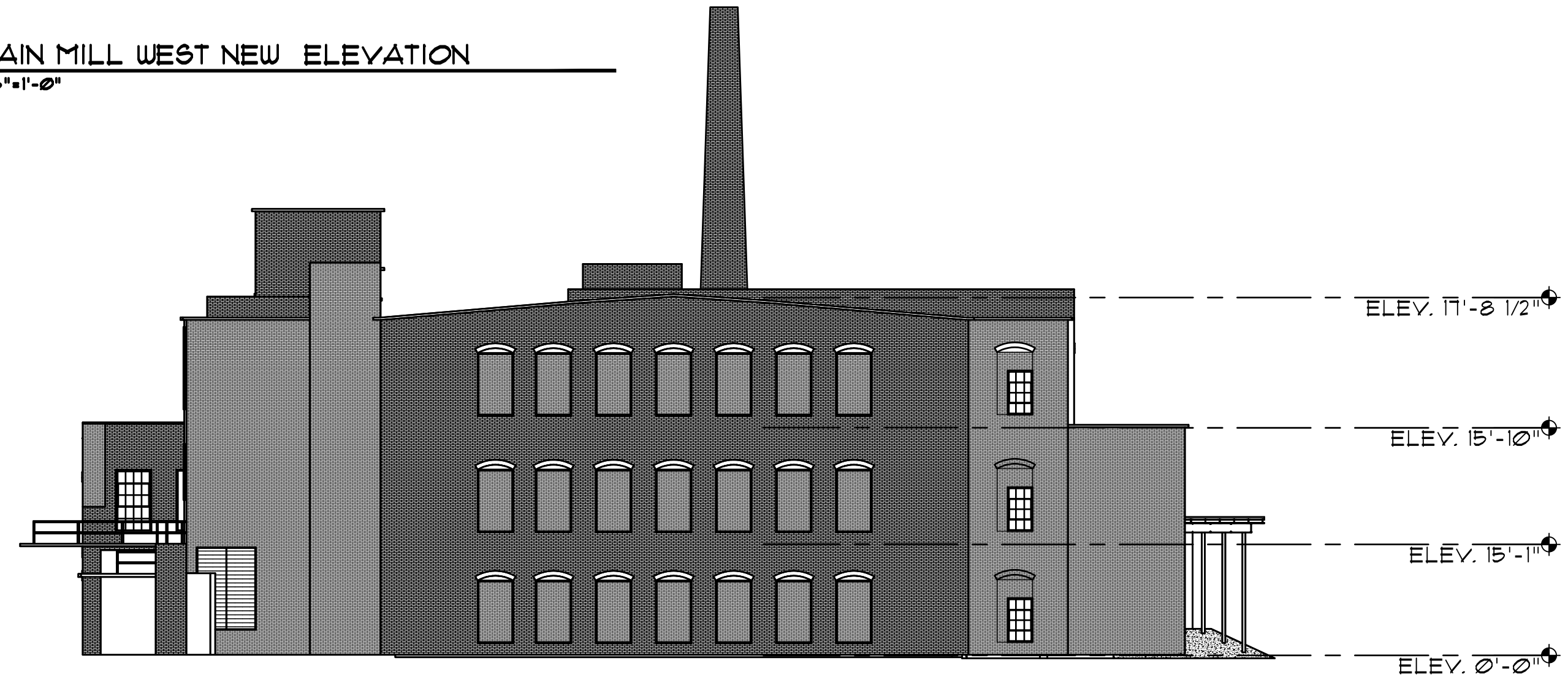


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2 NEW REPLICA WINDOWS AT EXISTING INFILLED OPENINGS



4 MAIN MILL WEST NEW ELEVATION
1/16"=1'-0"

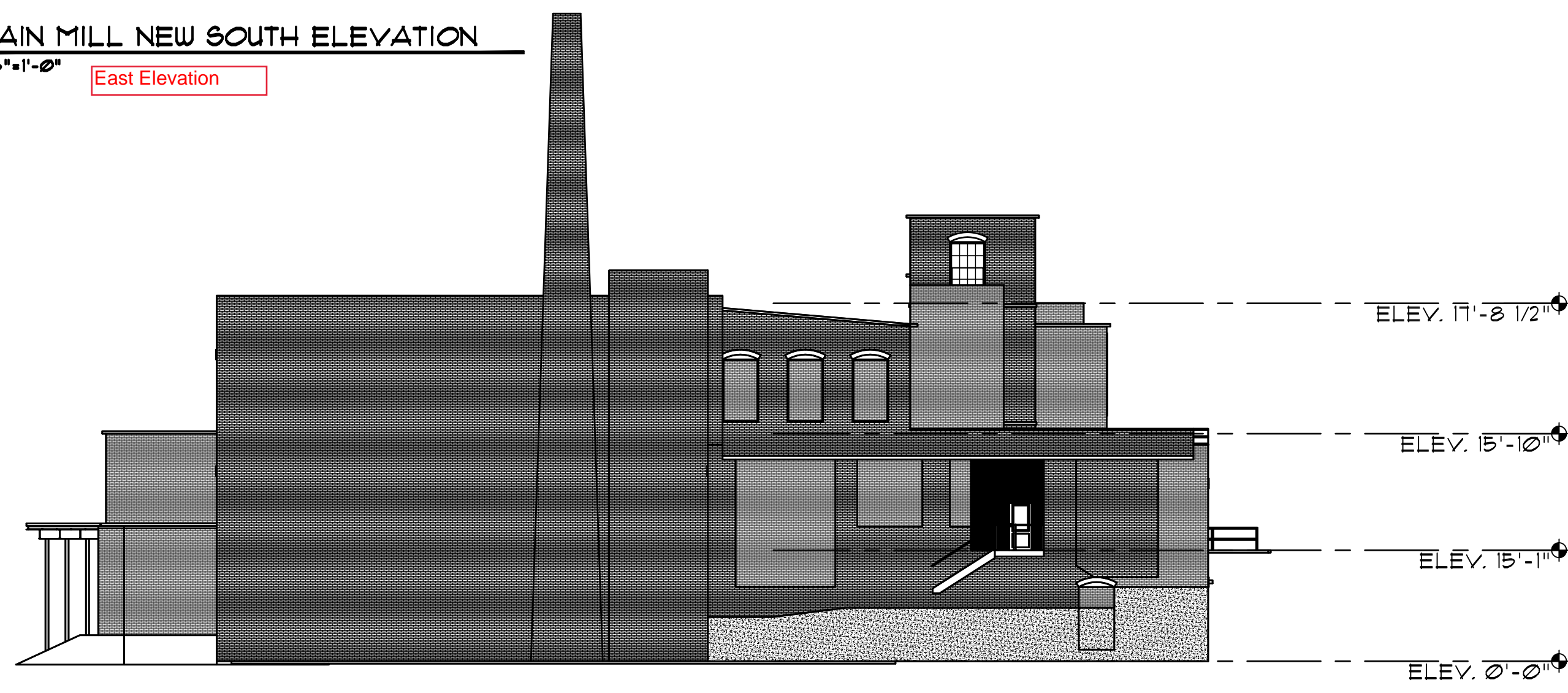


3 WEST MAIN MILL EXISTING ELEVATION
1/16"=1'-0"

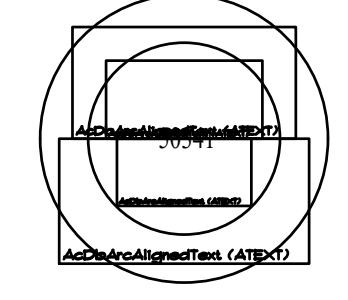
2 TYP. NEW 8 LIGHT CENTER DIVIDE WINDOWS



2 MAIN MILL NEW SOUTH ELEVATION
1/16"=1'-0" East Elevation



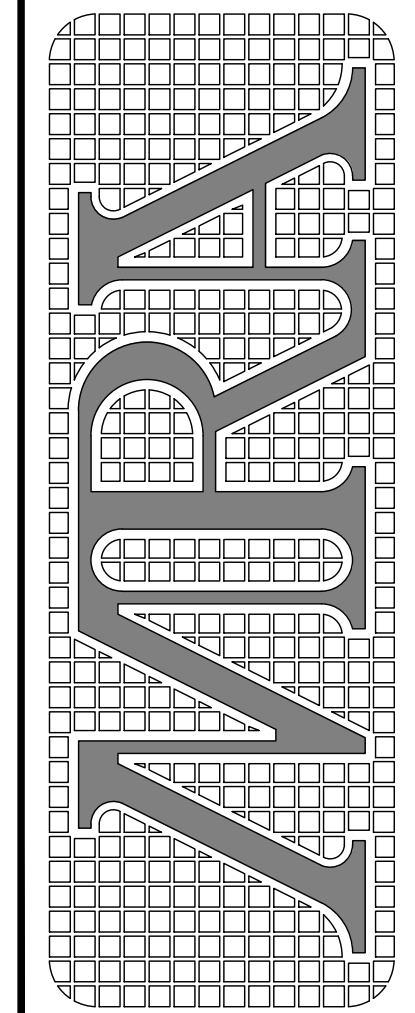
1 MAIN MILL EAST EXISTING ELEVATION
1/16"=1'-0"



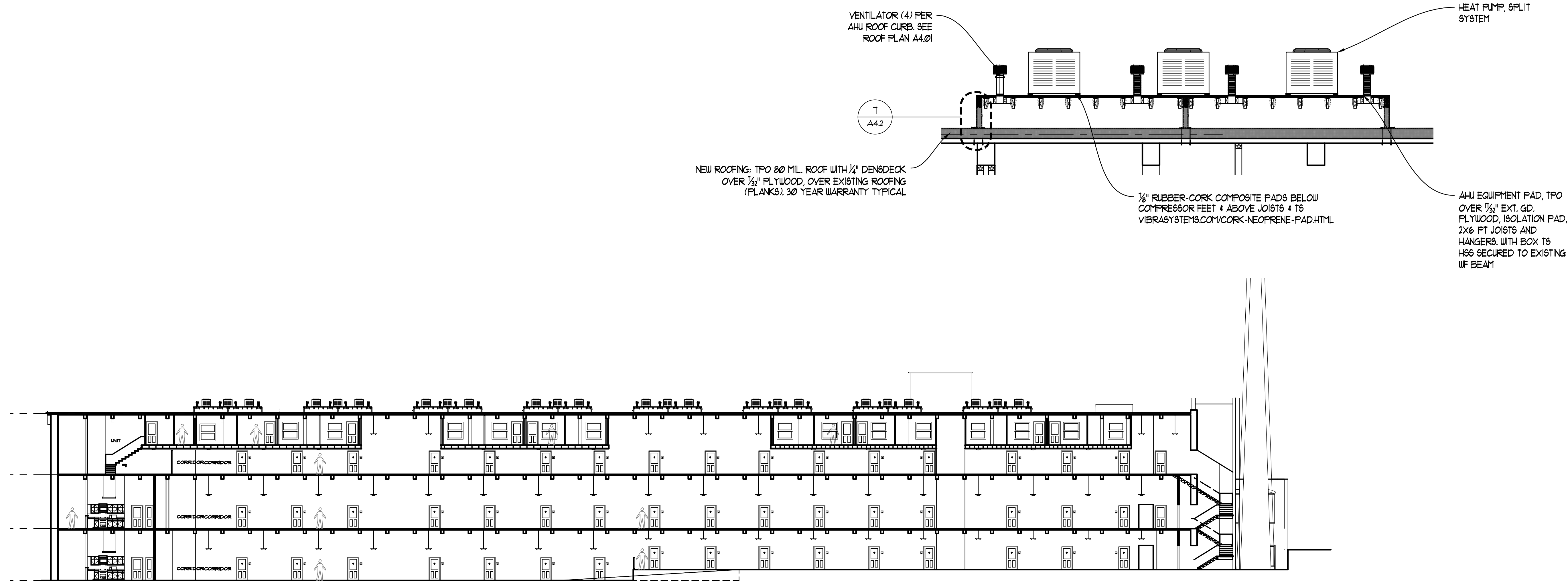
REVISIONS	9-22-21	11-8-22
PROJECT	2018-043	
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Professional Seal: ARCHITECT L. M. RAMIREZ, No. 5283, State of Georgia, Atlanta, Georgia

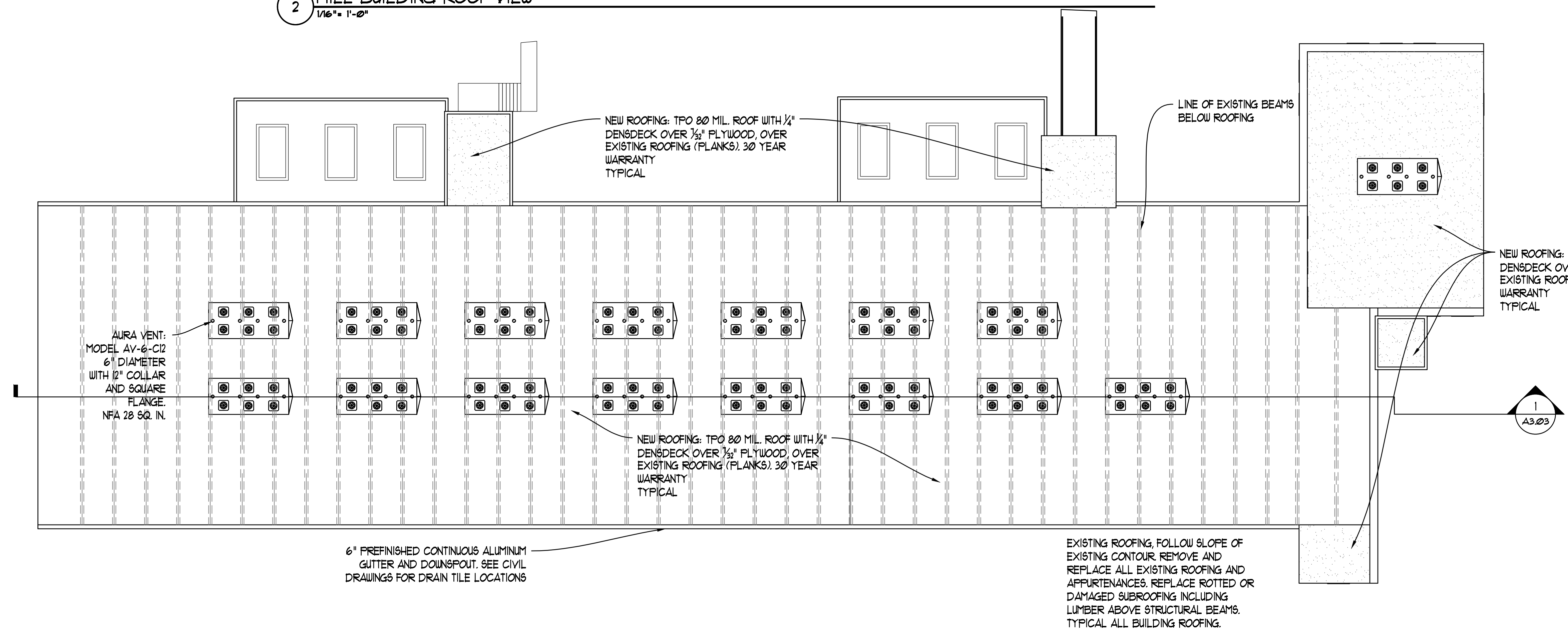
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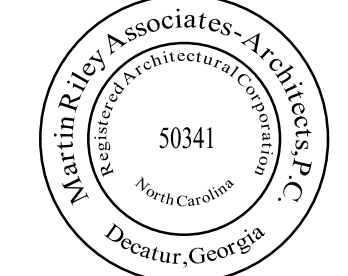


2 MILL BUILDING ROOF VIEW
1/16" = 1'-0"



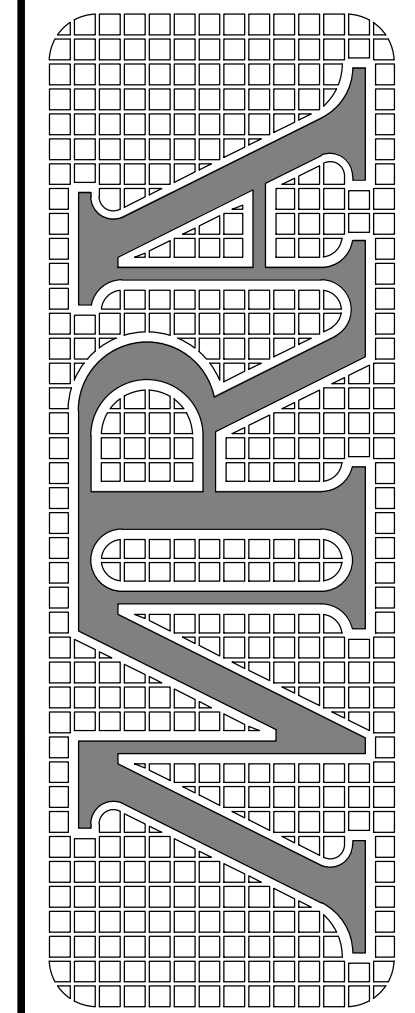
1 MILL BUILDING ROOF VIEW
1/16" = 1'-0"

- GENERAL (ALL BUILDINGS) ROOF NOTES:
1. DOWNSPOUT LOCATIONS TO BE COORDINATED WITH UNDERGROUND CIVIL STORM PIPING
 2. ROOF SLOPES ARE NOTED ON DRAWING 6:12 TYPICAL UNO. HIGH ROOFS ARE 10:12 UNO
 3. CONTRACTOR TO PLACE GUTTERS PER INDUSTRY STANDARDS, COORDINATE LOCATION WITH CIVIL.
 4. NET FREE ATTIC VENTILATION TO BE 1/300 UNO.

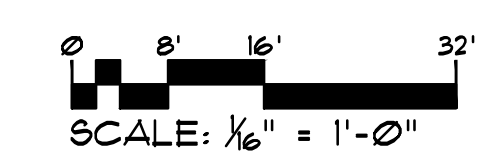


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CONCORD, NC



A4.01



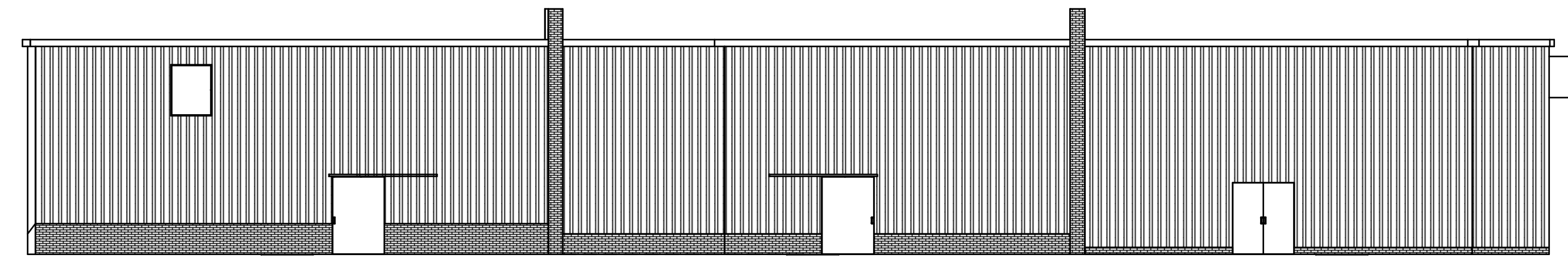
REVISIONS

PROJECT	2018-043
DATE	7-14-21
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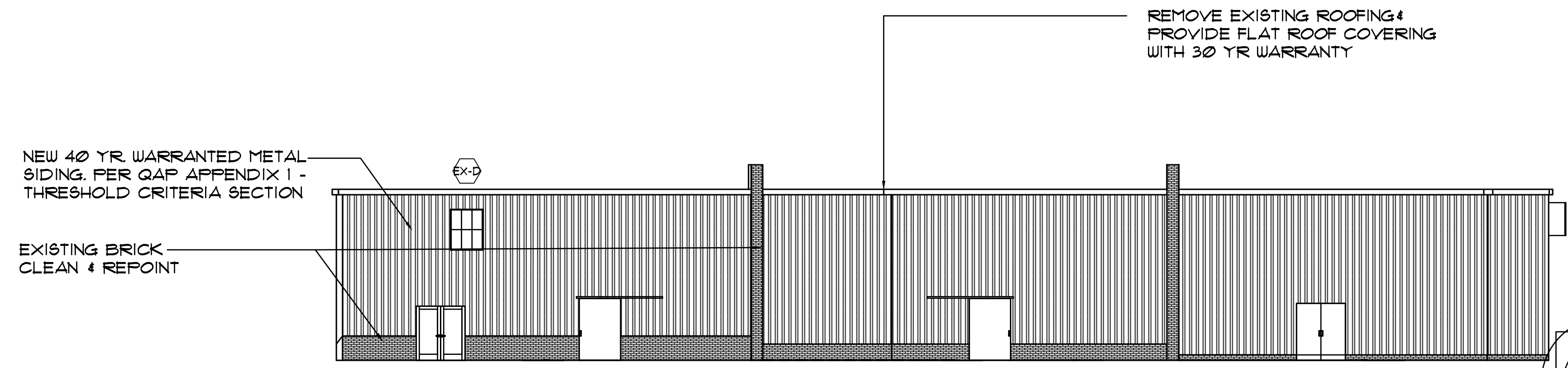
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MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
ATLANTA, GEORGIA

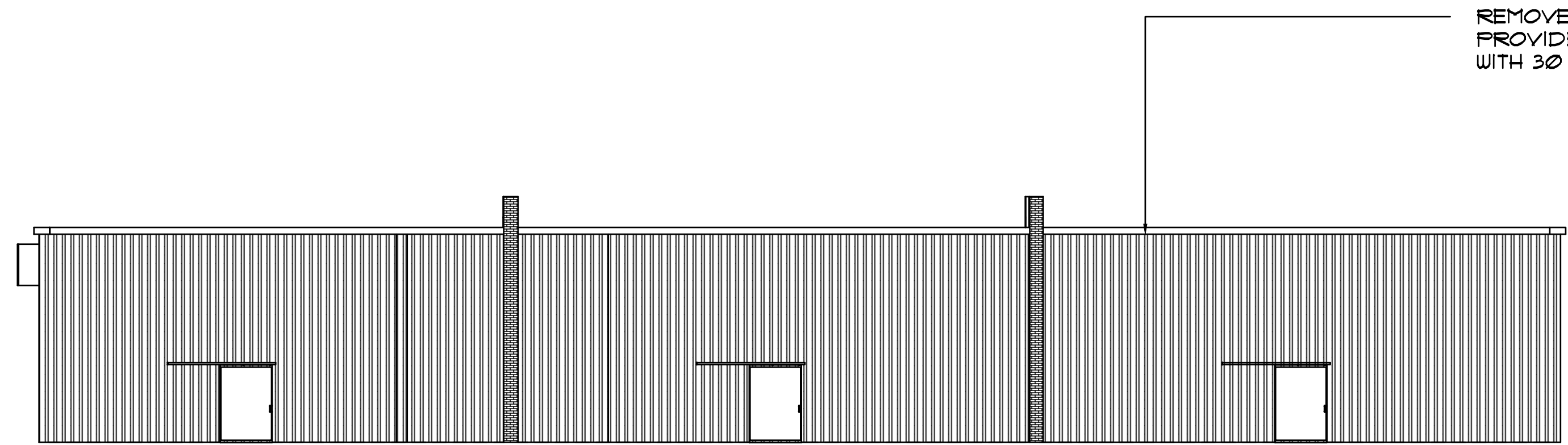
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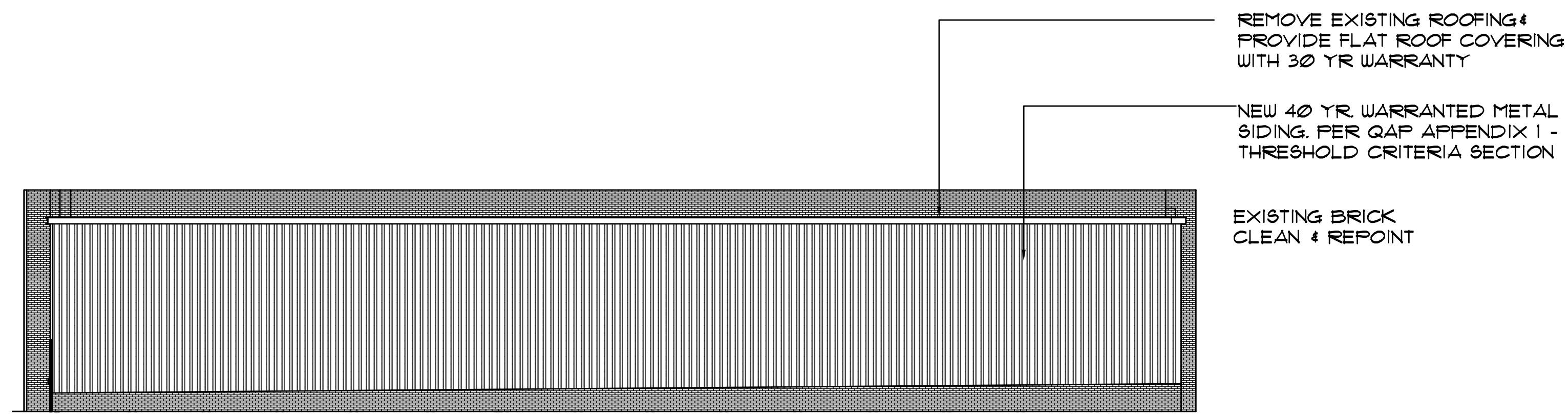
4 EAST WAREHOUSE- EXISTING WEST ELEVATION
3/32"=1'-0"



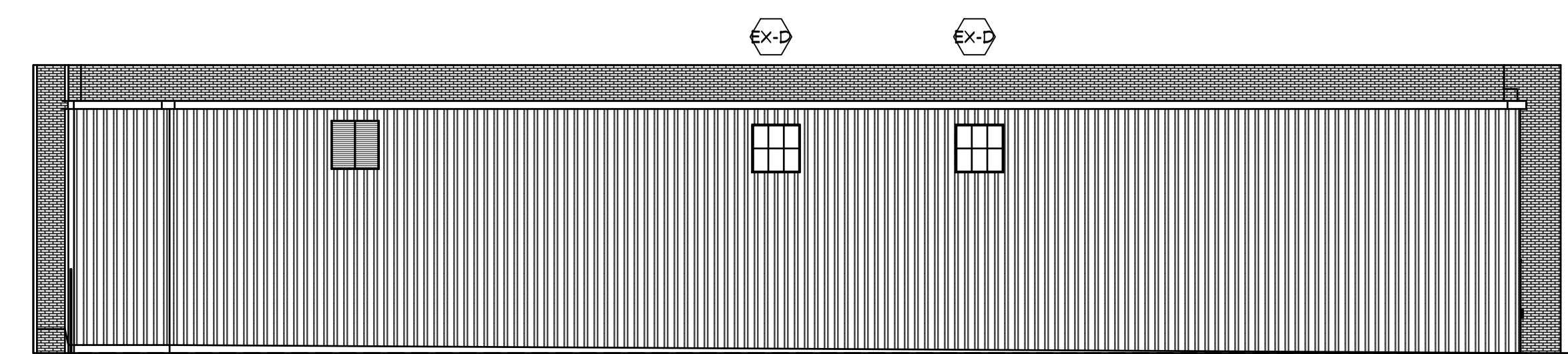
3 EAST WAREHOUSE- NEW WEST ELEVATION
3/32"=1'-0"



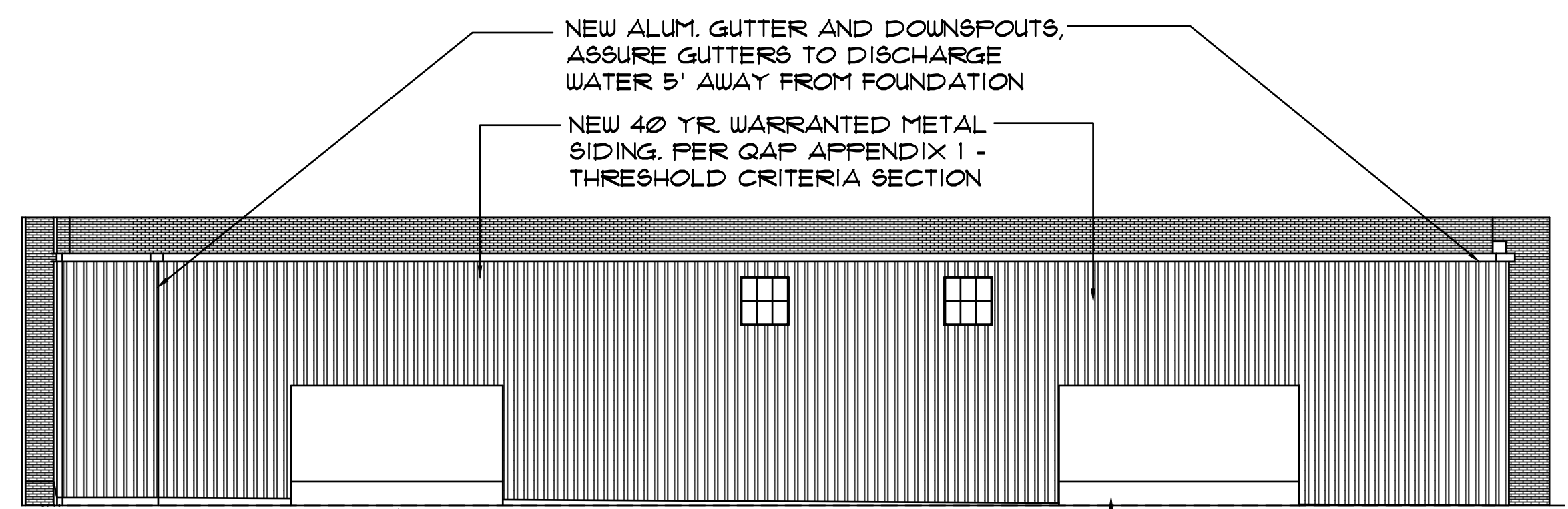
6 EAST WAREHOUSE- EXISTING & NEW EAST ELEVATION
3/32"=1'-0"



5 EAST WAREHOUSE- EXISTING & NEW NORTH ELEVATION
3/32"=1'-0"

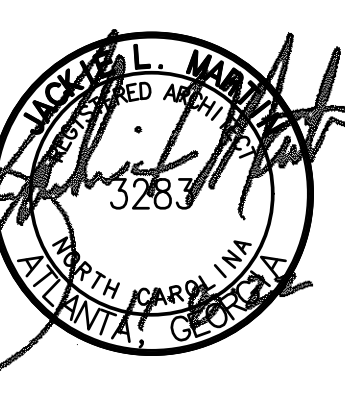


2 EAST WAREHOUSE- EXISTING SOUTH ELEVATION
3/32"=1'-0"

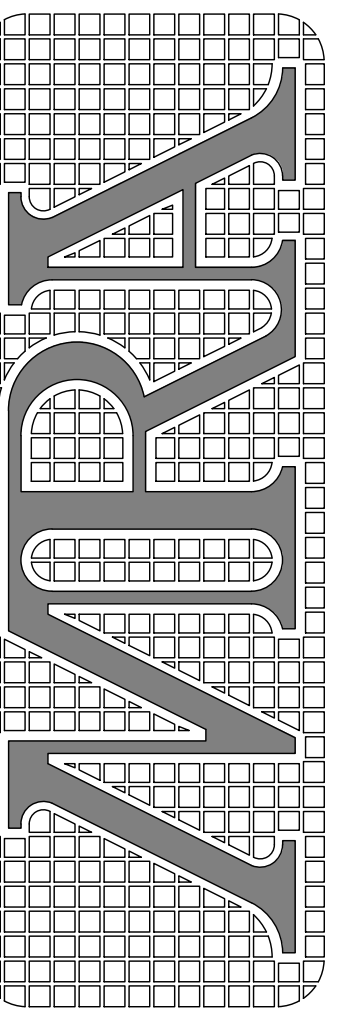


1 EAST WAREHOUSE- NEW SOUTH ELEVATION
3/32"=1'-0"

REVISIONS
PROJECT: 2018-043
DATE: 7-14-21
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215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800
COLEMAN MILL APARTMENTS
CONCORD, NC

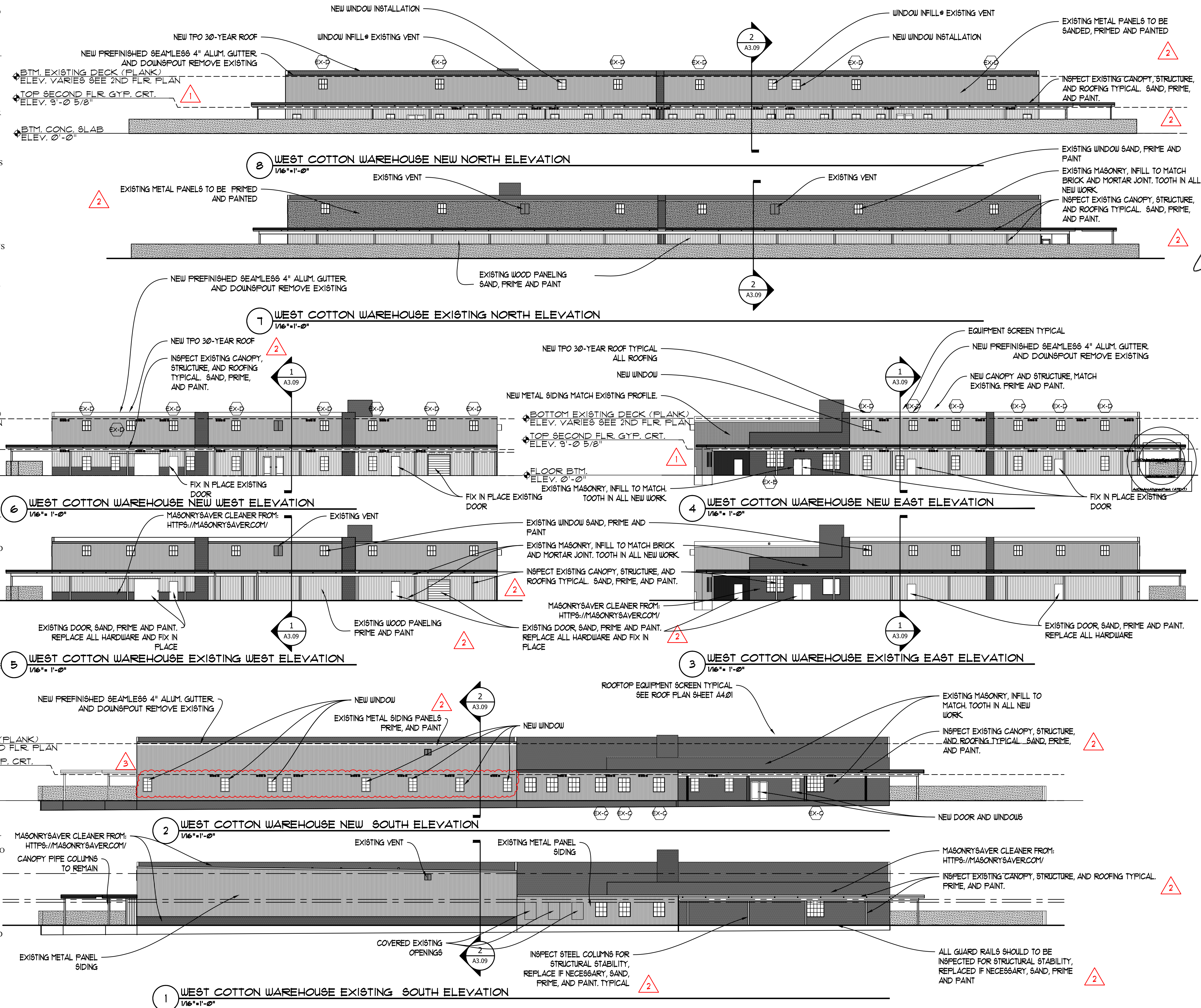


DEMO NOTES (ALL BUILDINGS):

1. REFERENCE MPE DRAWINGS FOR ADDITIONAL NOTES AND REQUIREMENTS
2. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND REQUIREMENTS
3. REFERENCE BUILDING PLANS FOR UNIT NUMBERS.
4. REFERENCE HANDICAP AND FAIR HOUSING NOTES/SHEET FOR ADDITIONAL REQUIREMENTS.
5. FIELD VERIFY ALL DIMENSIONS, INCLUDING DOORS AND WINDOWS. RESTORE EXISTING ITEMS TO ORIGINAL CONDITION THAT REMAIN INTACT SUCH AS TRIMS, PLASTER CEILINGS, WOOD FLOORINGS, WALL MATERIALS, CEILINGS, AND OTHER ITEMS NOT NOTED.
6. REPAIR DAMAGE TO EXISTING SURFACES DURING INSTALLATION AND CONSTRUCTION.
7. TAKE PICTURES BEFORE THE START OF WORK, AND AFTER INSTALLATION OF NEW WORK. SEND ONE DIGITAL COPY TO OWNER AND ARCHITECT WITH DESCRIPTION OF LOCATION AND WORK.
8. WHEN COMPLETING WALL DEMOLITION PATCH, FINISH AS NECESSARY TO MATCH ADJACENT WALLS.
9. GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE THE START OF WORK, AND IS RESPONSIBLE FOR VERIFICATION OF ALL DEMOLITION CONDITIONS INCLUDING FINISHES AND MATERIALS AS NOTED IN THESE DRAWINGS AND THE SCOPE OF WORK. FIELD VERIFY PRIOR TO BIDDING. ANY AMBIGUOUS ITEMS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.
10. WHERE AN EXISTING FINISH SURFACE IS TO REMAIN, REPAIR AND PATCH ALL LOCATIONS ASSOCIATED WITH DEMOLITION AND REMOVAL OF ADJACENT FINISHES, FRAMING, FASTENERS, ETC.
11. ADDITIONAL DEMOLITION INFORMATION SPECIFIC TO TRADE IS IDENTIFIED WITHIN SITE, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION DRAWINGS. REVIEW ALL SECTIONS AND OTHER DRAWINGS FOR FULL SCOPE OF DEMOLITION AS REQUIRED.
12. PROTECT ALL MATERIALS, DOORS/FRAMES, AND FINISHES THAT ARE TO REMAIN AT COMPLETION.
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY MEASURES REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AFTER ANY DEMOLITION WHICH RENDERS ANY PART OF THE BUILDING STRUCTURALLY UNSTABLE.
14. NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. GENERAL CONTRACTOR SHALL INSURE THAT TEMPORARY PROTECTION FROM WEATHER IS PROVIDED AND INSTALLED AT ALL EXPOSED OPENINGS.

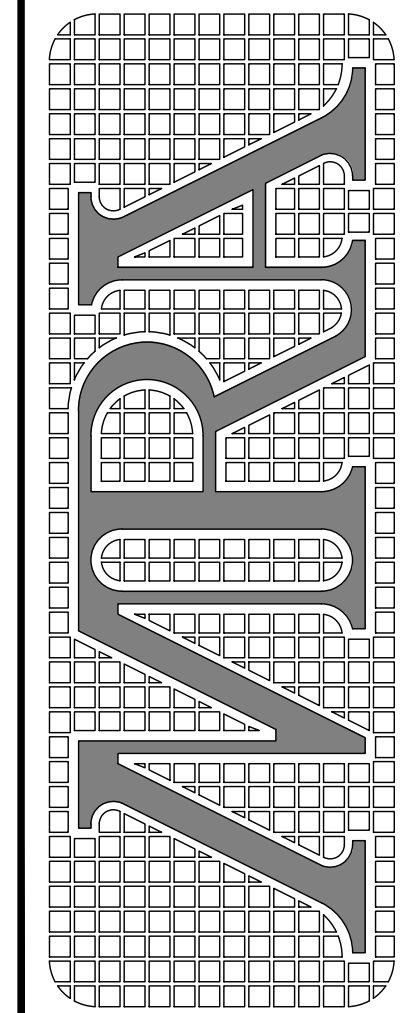
15. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK. MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR. GENERAL CONTRACTOR SHALL IDENTIFY ALL MASONRY DEMOLITION WORK BEFORE THE START OF BIDDING.
16. PATCH EXISTING CONCRETE SURFACES FOR CRACKS, SPALLING, AND CHIPS NOT NOTED ON DOCUMENTS. AREAS SHALL BE PATCHED TO MATCH ADJACENT SURFACE FINISH, TEXTURE, AND COLOR BEFORE BIDDING OR START OF WORK.
17. PERFORM ALL WORK ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND WRITTEN INSTRUCTIONS.
18. FOLLOWING ANY DEMOLITION AND/OR REMOVAL, PATCH AND REPAIR ALL EXISTING DISTURBED SUBSTRATES AND FINISHES TO MATCH EXISTING SUBSTRATES AND FINISHES, OR PREPARE EXISTING ADJACENT CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION AND SCHEDULED FINISHES.
19. PREP ALL WALLS, FLOORS, AND CEILINGS FOR NEW FINISH AND PAINTS.
20. REMOVE ALL EXISTING ROOFING.
21. REPLACE ROOFING WITH NEW EPDM OR TPO. CHECK AND REPLACE ALL DAMAGED SUBSTRATE. REPLACE ALL PARAPET FLASHING, PIPE FLASHING, AND OTHER APPURTENANCES ASSOCIATED WITH ROOFING. 30-YEAR ROOFING WARRANTY.
22. SURVEY THE ROOF BEFORE THE START OF WORK OR BIDDING, AND REQUEST CLARIFICATION OF ANY QUESTION OR DISCREPANCIES FROM THE ARCHITECT BEFORE THE START OF WORK.
23. REMOVE ALL "RUST AND CORROSION. FROM DOOR, WINDOW, PIPE COLUMNS, LINTELS. CLEAN, PRIME, AND REPAINT STEEL LINTELS.

24. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK. MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR. GUTTER SIZES SHALL BE CALCULATED BY CONTRACTOR ACCORDING TO DESIGN CRITERIA BY AHJ. SUBMIT CALCULATION TO ARCHITECT WITH ROOFING SHOP DRAWINGS. INSTALL GUTTERS WITH ADEQUATE SLOPE TO PROVIDE POSITIVE DRAINAGE TO DOWNSPOUTS. PROVIDE GALVANIZED BRACKETS MATCHING DOWNSPOUT COLOR. PROVIDE GALVANIZED METAL (OR SIMILAR) LEADER TO DRAIN TILE BELOW GRADE OR PER CIVIL DRAWINGS.
25. REMOVE ALL VEGETATION GROWING ON BUILDING.
26. REMOVE ALL GRAFFITI, ATTACHED PLYWOOD AND FASTENERS, OR MATERIAL NOT CONGRUENT OR ARCHITECTURALLY PART THE STRUCTURE, FACADE, OR SITE.
27. ALL ITEMS OF HISTORIC VALUE ON SITE SHALL REMAIN UNCHANGED OR MODIFIED. CONTACT THE ARCHITECT IF QUESTION ARISE AS TO THE HISTORIC VALUE OF AN ITEM OR ANY COMPONENT. DIGITAL PICTURES ARE TO BE TAKEN OF ALL HISTORIC ITEMS FOR OWNERS USE. EXAMPLE: WINDOWS ARE TO REMAIN UNLESS BLOCKING NEW WORK.
28. REMOVE EXISTING METAL SIDING, REPLACE WITH NEW 40 YR. WARRANTED METAL SIDING. PER QAP APPENDIX 1-THRESHOLD CRITERIA SECTION.



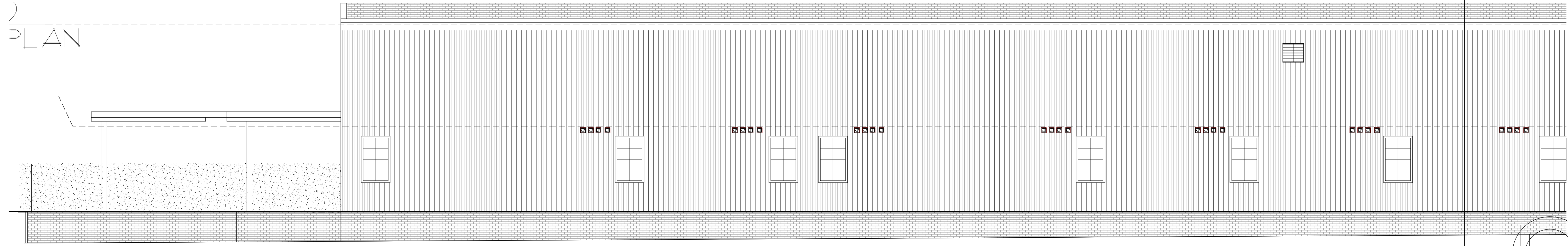
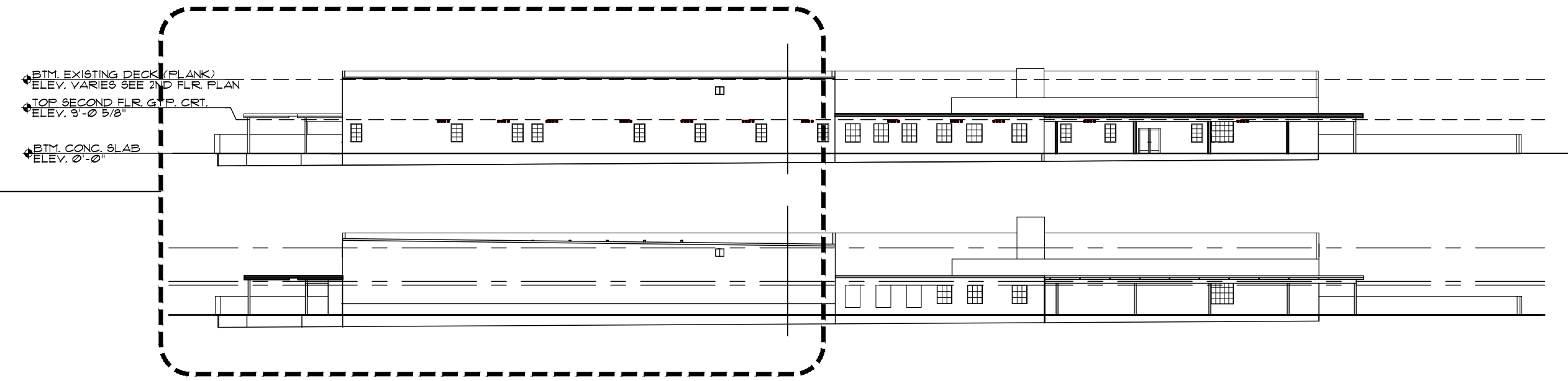
REVISIONS	9-22-21	2-18-22	11-9-22
PROJECT	2018-043	DATE	T-14-21
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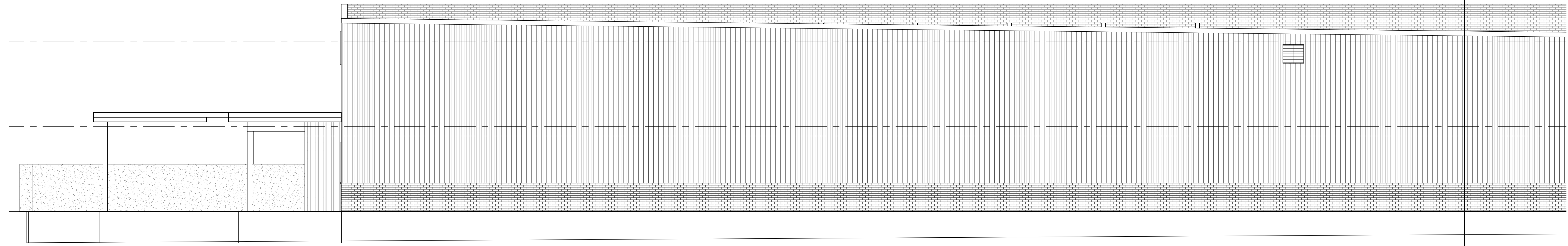


PLAN

142
A3.08B



2 PARTIAL WEST COTTON WAREHOUSE NEW SOUTH ELEVATION
1/4"=1'-0"



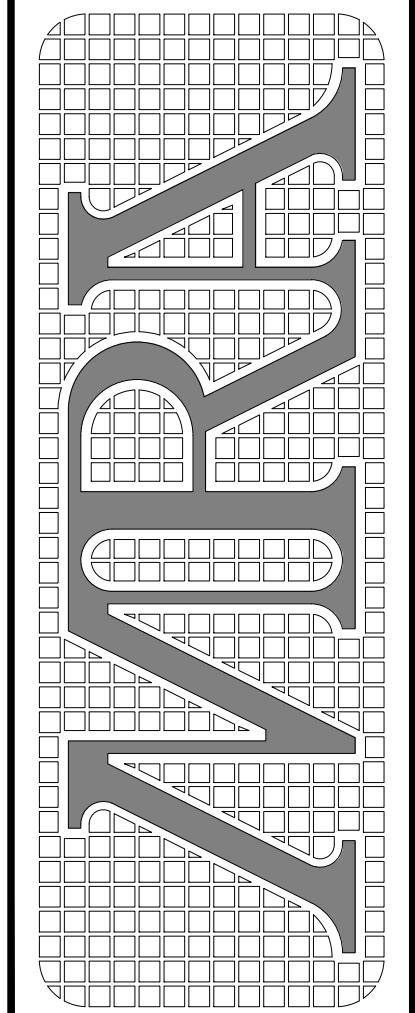
1 PARTIAL WEST COTTON WAREHOUSE EXISTING SOUTH ELEVATION
1/4"=1'-0"

REVISIONS	9-22-21	2-18-22	11-8-22
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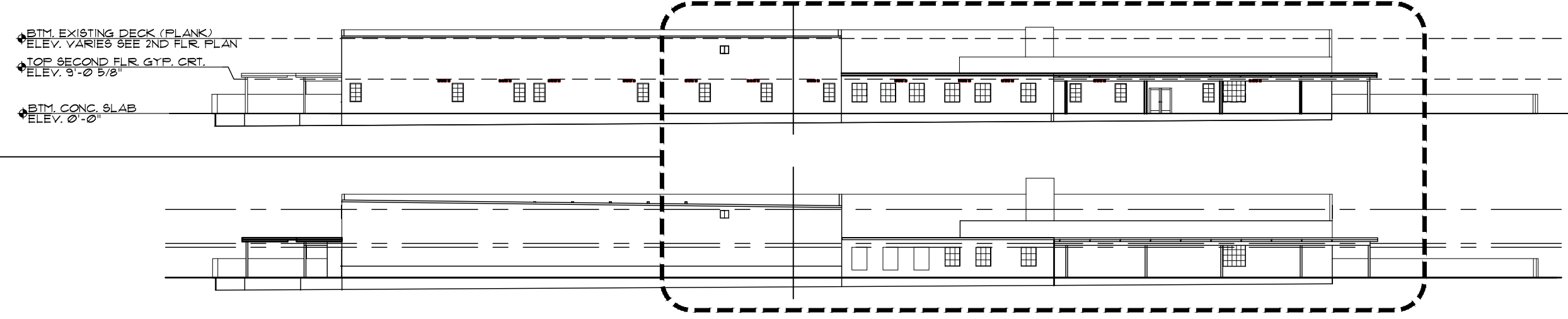
PROJECT	2018-043
DATE	1-14-21
DRAWN BY / CHECKED BY	LEB



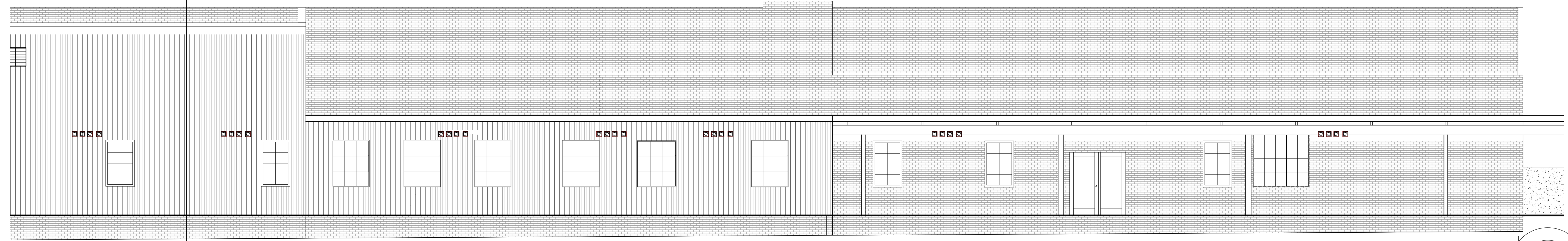
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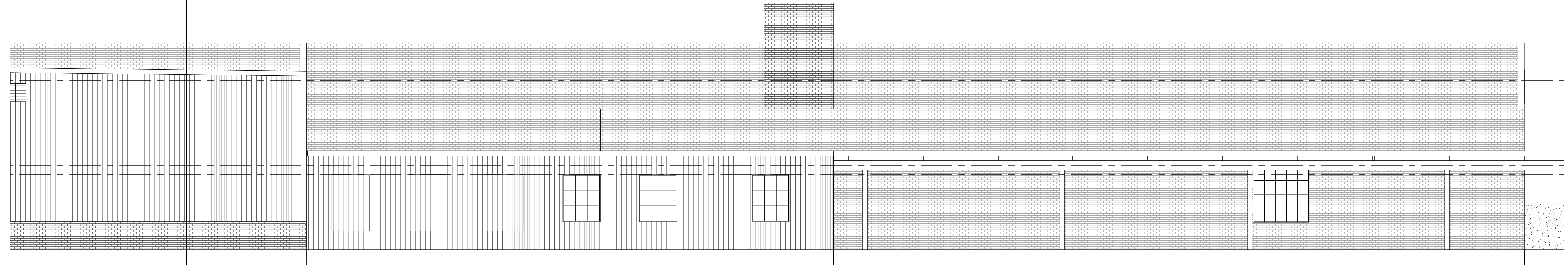
A3.08B



142
A3.08C

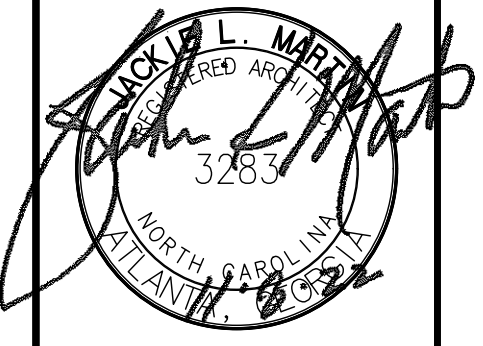


2 WEST COTTON WAREHOUSE PARTIAL NEW SOUTH ELEVATION
1/4"=1'-0"

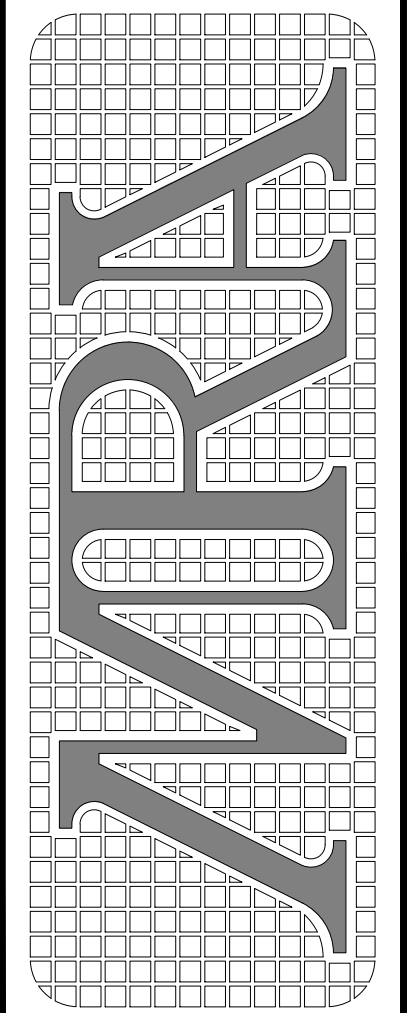


1 WEST COTTON WAREHOUSE PARTIAL EXISTING SOUTH ELEVATION
1/4"=1'-0"

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PROJECT	2018-043		
DATE	1-14-21		
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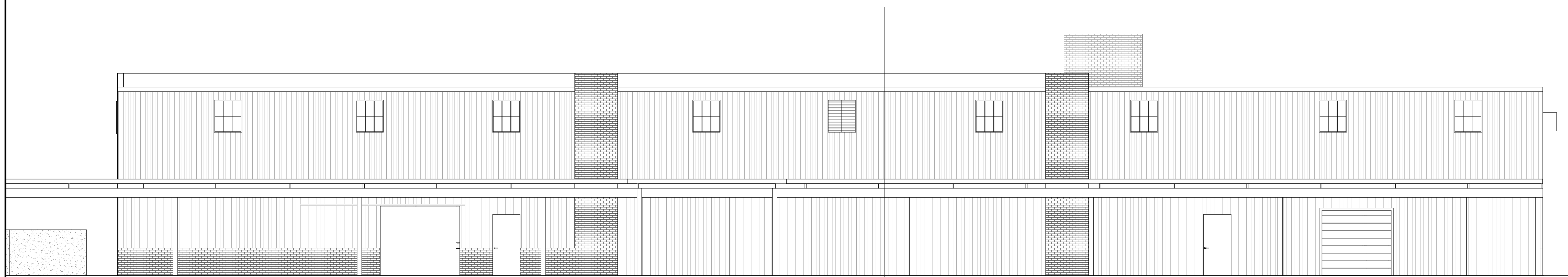
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A3.08C



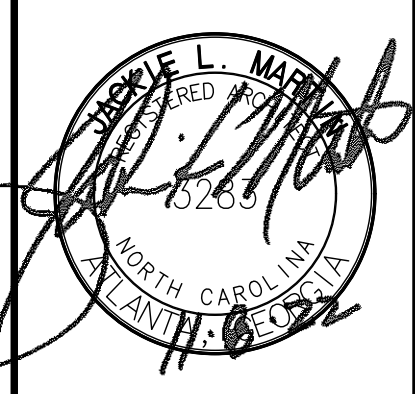
2 WEST COTTON WAREHOUSE PARTIAL NEW WEST ELEVATION
1/4"=1'-0"



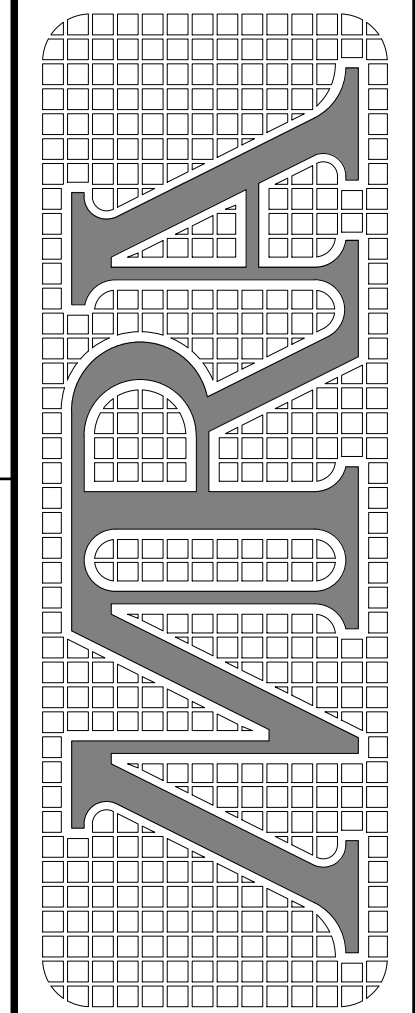
1 WEST COTTON WAREHOUSE PARTIAL EXISTING WEST ELEVATION
1/4"=1'-0"

REVISIONS	9-22-21	2-18-22	11-8-22
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PROJECT	2018-043
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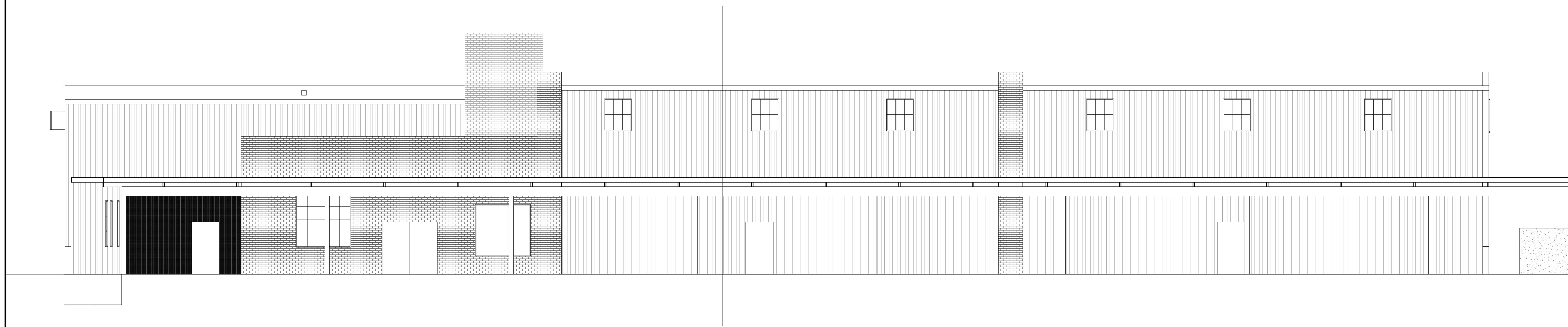
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A3.08D



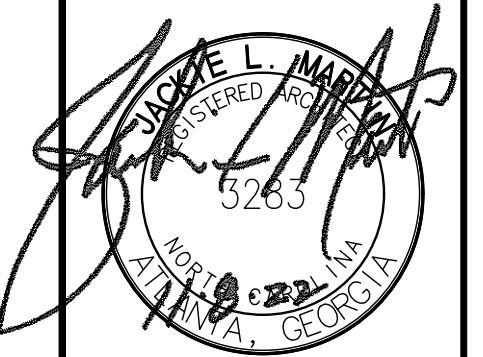
2 WEST COTTON WAREHOUSE PARTIAL NEW EAST ELEVATION
1/4" = 1'-0"



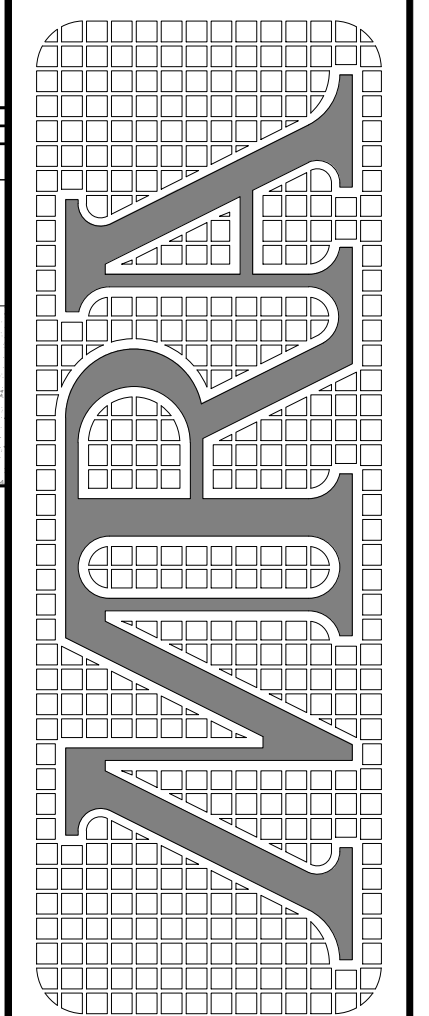
1 WEST COTTON WAREHOUSE PARTIAL EXISTING EAST ELEVATION
1/4" = 1'-0"

REVISIONS
9-22-21
2-18-22
11-8-22

PROJECT
2018-043
DATE
1-14-21
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LBG

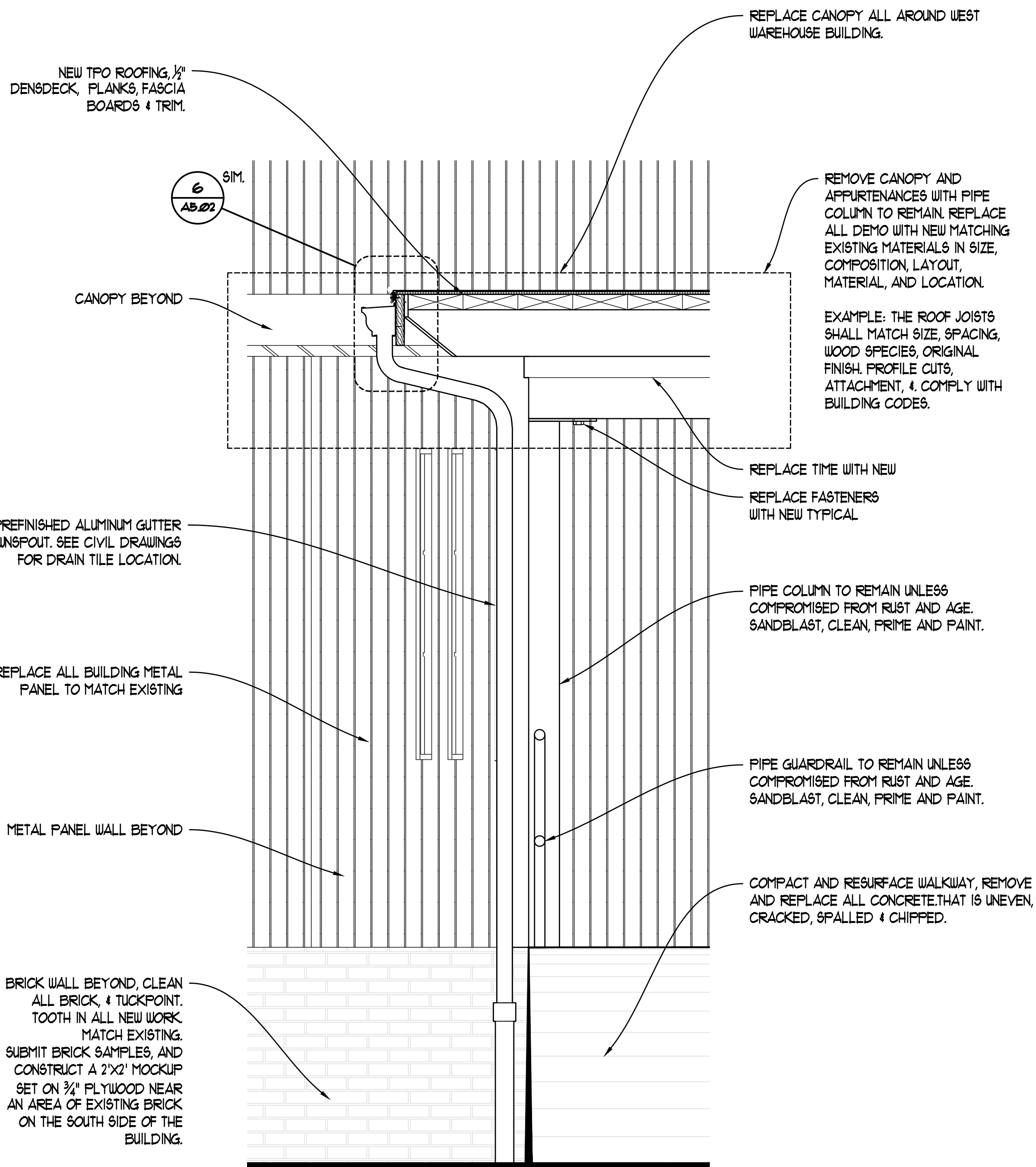


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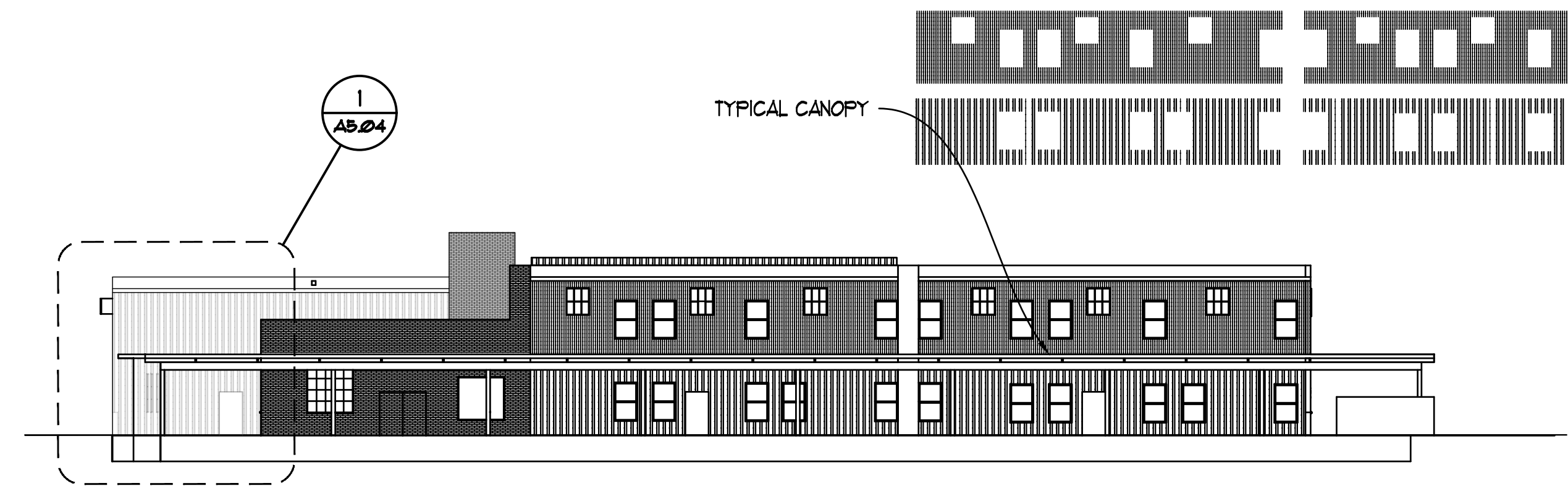


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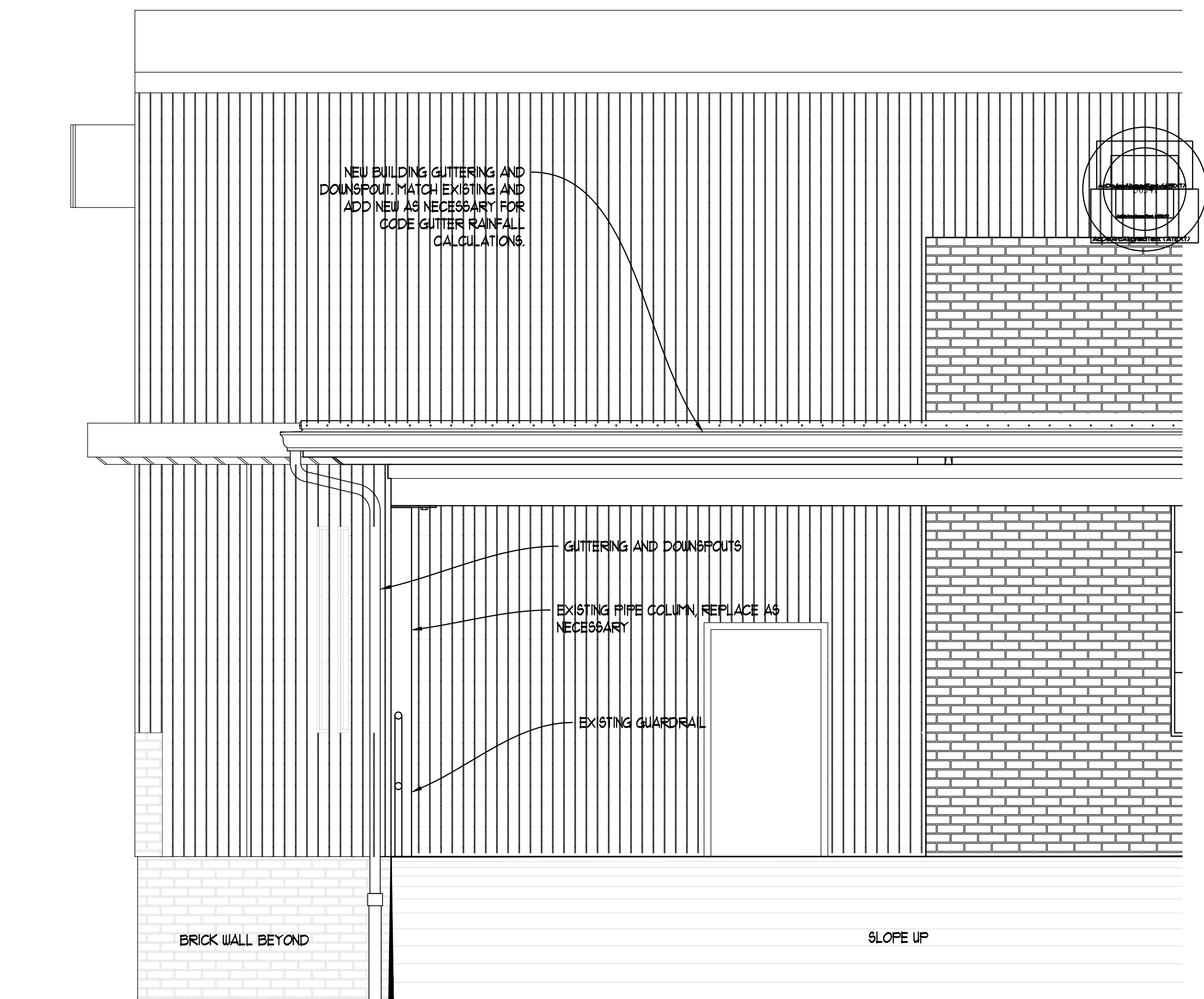
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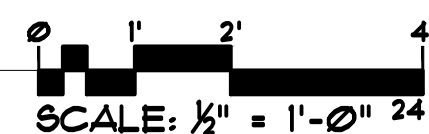
2 CANOPY SECTION - WEST WAREHOUSE
SCALE: 3/4" = 1'-0"



A KEY EAST ELEVATION - WEST WAREHOUSE
N.T.S.



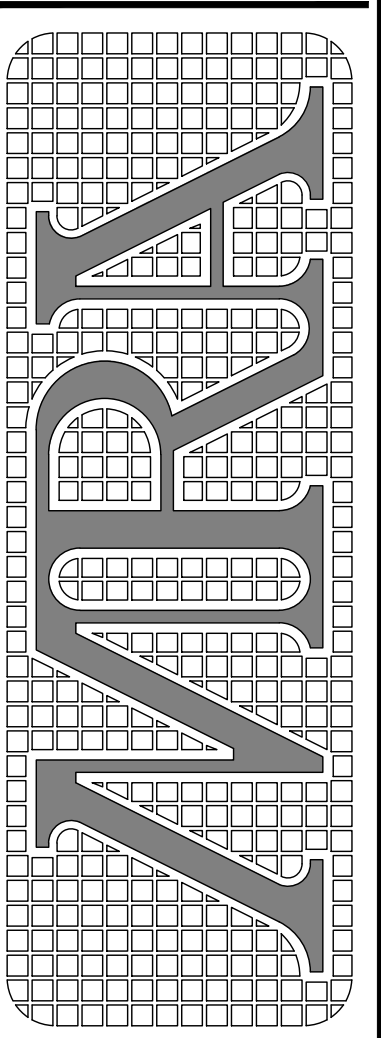
1 EXTERIOR PERIMETER WALKWAY ELEVATION AT CANOPY - WEST WAREHOUSE
SCALE: 1/2" = 1'-0"



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A5.04

HATCH KEY
 WALKWAY ROOFING
 2 LAYERS TPO 80 MIL.

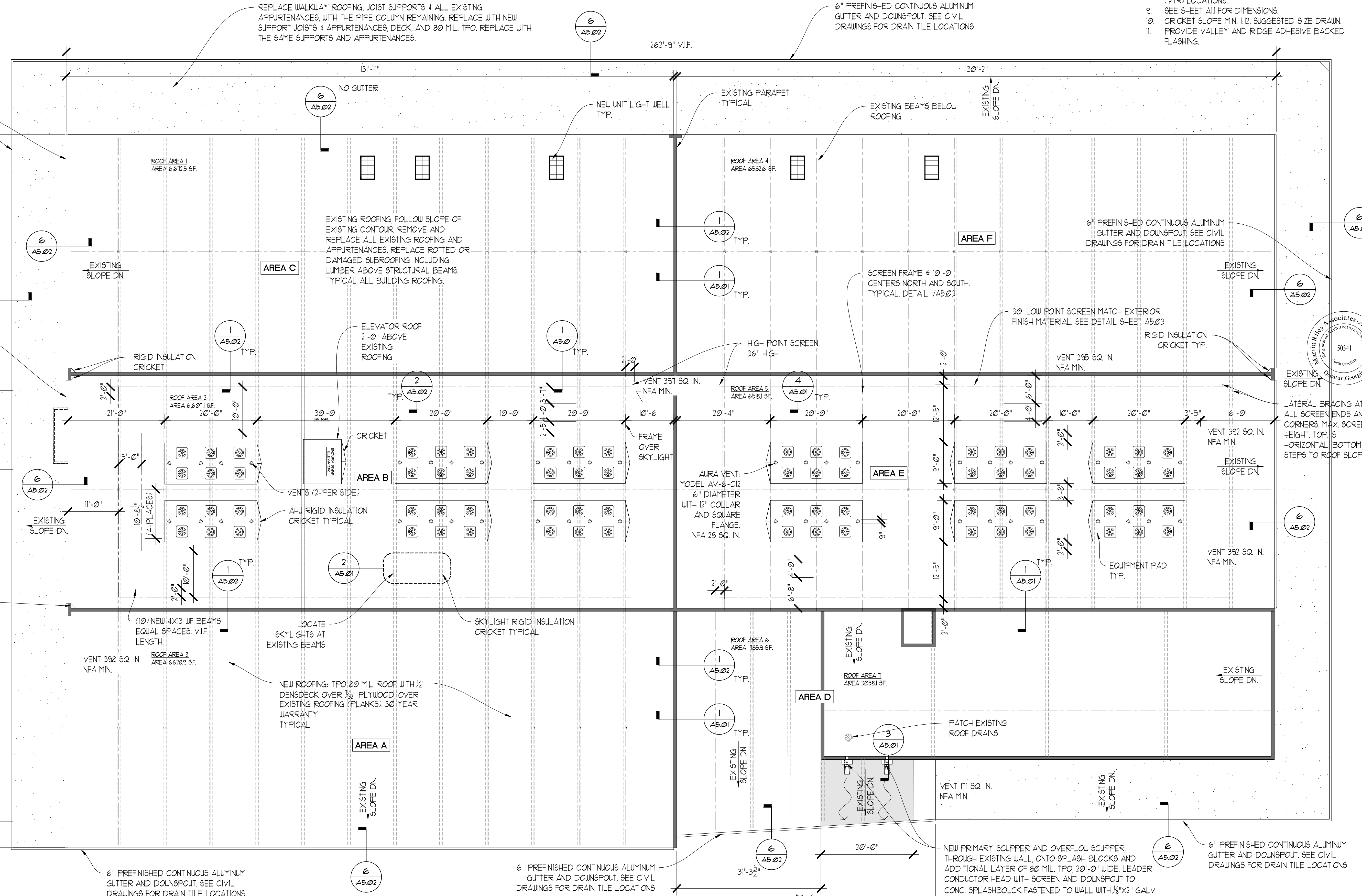
ACTIVE VENTILATION PRODUCTS,
 AURA GRAVITY ROOF VENTILATORS,
 ROOFVENTS.COM/

EQUIPMENT CURB VENTING:
 AREA 180 SF.
 180 SF. / 300 = 0.6 SF.
 0.6 X 12 X 12 = 86.4 SQ. IN. NFA REQUIRED
 86.4 / 4 VENTS (2 PER SIDE) = 21.6 SQ. IN. NFA MIN. EACH VENT.
 VENT: 6" DIA, 12" COLLAR, AV-6-C12, 26 NFA,
 FOUR VENT @ 26 X 4 = 104 > 86.4 CHECK OK

FIELD VERIFY ALL DIMENSIONS

GENERAL (ALL BUILDINGS) ROOF NOTES:

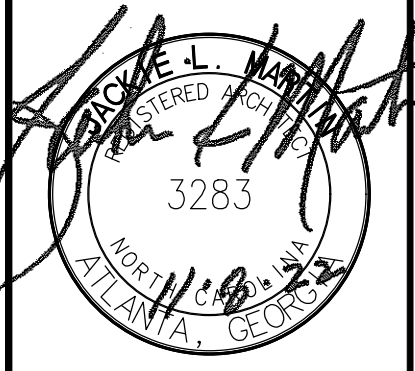
1. DOWNSPOUT LOCATIONS TO BE COORDINATED WITH UNDERGROUND CIVIL STORM PIPING
2. ROOF SLOPES ARE NOTED ON DRAWING 6:12 TYPICAL UNO. HIGH ROOFS ARE 10:12 UNO
3. CONTRACTOR TO PLACE GUTTERS PER INDUSTRY STANDARDS, COORDINATE LOCATION WITH CIVIL
4. NET FREE ATTIC VENTILATION TO BE 1/300 UNO.
5. SOFFIT VENT TO BE PLACED AT PERIMETER OF OVERHANG
6. ATTIC AREA IS LESS THAN 3000 SF. (DRAFT STOPPING NOT REQUIRED IN COMMUNITY BUILDING)
7. MINIMUM RIDGE VENT LENGTHS SHOWN
8. SEE PLUMBING DRAWINGS FOR VENT THROUGH ROOF (VTR) LOCATIONS.
9. SEE SHEET ALL FOR DIMENSIONS.
10. CRICKET SLOPE MIN. 1/12, SUGGESTED SIZE DRAWN.
11. PROVIDE VALLEY AND RIDGE ADHESIVE BACKED FLASHING.



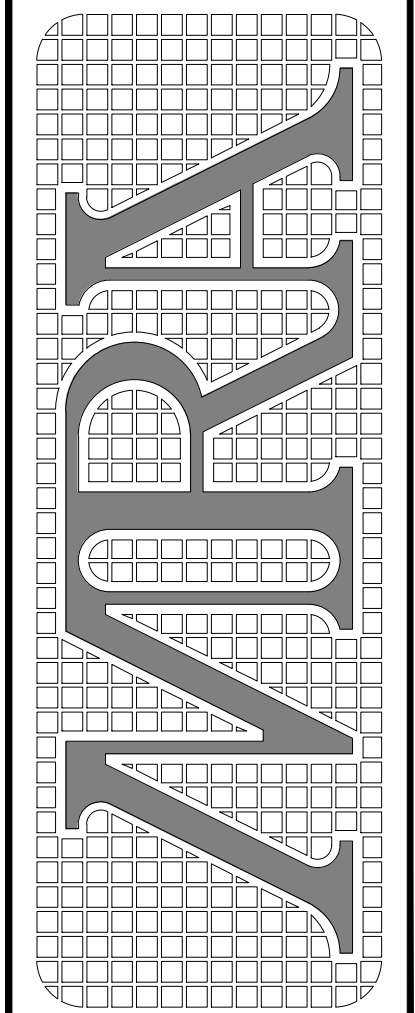
ROOF PLAN WEST
 SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

PLOTTED: 11/8/2022 2:23:49 PM - DRAWING: P:\SARI\2018-043 CONCORD-COLEMAN\2018-043_A403.DWG - A4.03 - PLOTTED BY: MARTIN MILLER - COPYRIGHT 2020

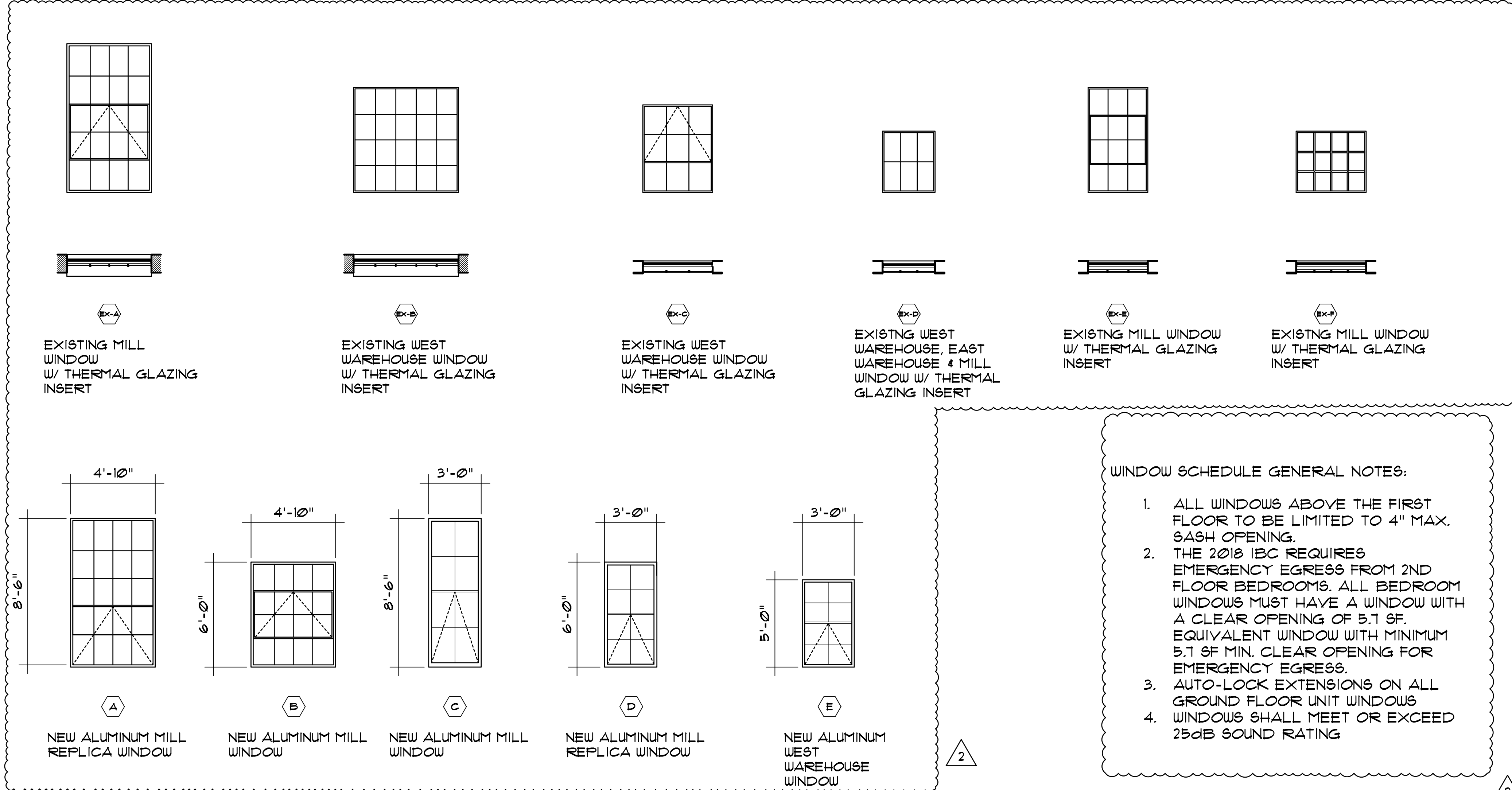


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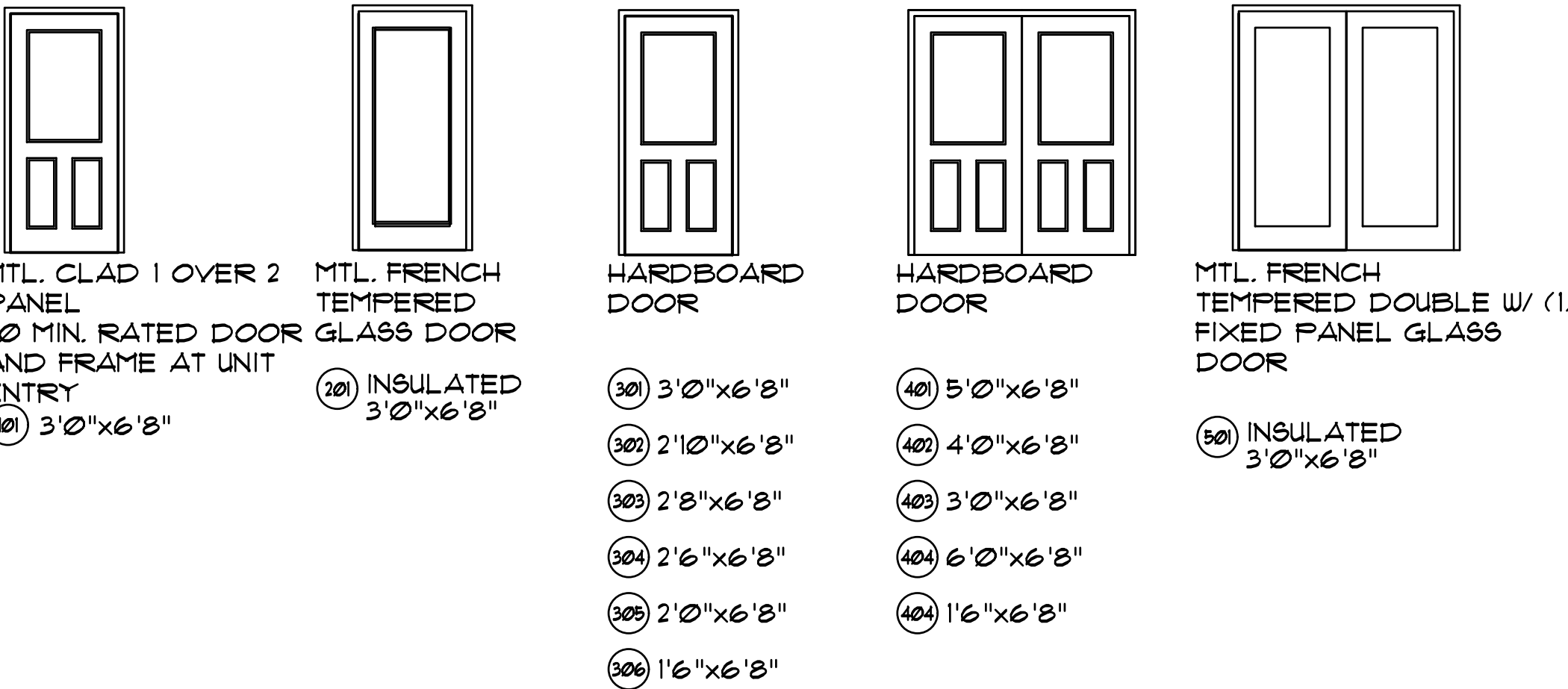
A4.03

HARDWARE SCHEDULE			
Qty	Hardware	Product	Manufacturer
RESIDENTIAL UNITS			
Typical Entry (Rated Door)			
1 ea.	Passage Set	501-T / 224322	Delaney
1 ea.	Deadbolt	200	Delaney
1 ea.	Knocker / Viewer	32420*	Harney
1.5 pr.	Spring Hinges	2060	Stanley
Typical Handicap Entry (Rated Door)			
1 ea.	Passage Set	501-T / 224322	Delaney
1 ea.	Deadbolt	200	Delaney
1 ea.	Knocker / Viewer (viewer rated to match door)	32420*	Harney
1 ea.	+ Viewer (Viewer rated to match door)	31850*	Harney
1.5 pr.	Spring Hinges	2060	Stanley
Typical Bedroom and Bathrooms			
1 ea.	Privacy Set	502-T / 222322	Delaney
Typical Handicap Bedroom and Bathrooms			
1 ea.	Privacy Set	502-T / 222322	Delaney
Typical Closet and Pantry			
1 ea.	Passage Set	501-T / 224322	Delaney
Typical Handicap Closet and Pantry			
1 ea.	Passage Set	501-T / 224322	Delaney
Typical Double Closet and Pantry			
2 ea.	Roller Latches	31220	Harney
2 ea.	Dummy Pulls	515-T / 225322	Delaney
Typical Handicap Double Closet and Pantry			
2 ea.	Roller Latches	31220	Harney
2 ea.	Dummy Pulls	515-T / 225322	Delaney
Typical Unit Mechanical Closets			
1 ea.	Deadbolt	200	Delaney
COMMON AREAS - COMMUNITY BUILDING *ALL DOORS TO BE MASTER KEYED*			
Restroom Doors (Rated Door)			
1 ea.	Privacy Set	E Series - Madison	Delaney
1.5 pr.	Spring Hinges	2060	Stanley
Maintenance Rooms (Rated Door)			
1 ea.	Lockset - Deadbolt	E Series - Madison	Delaney
1.5 pr.	Spring Hinges	2060	Stanley
Mechanical / Equipment Rooms (Rated Door)			
1 ea.	Lockset	E Series - Madison	Delaney
1.5 pr.	Spring Hinges	2060	Stanley
Office Entry (Rated Door) (Exterior & Interior Doors)			
1 ea.	Lockset	E Series - Madison	Delaney
1.5 pr.	Spring Hinges	2060	Stanley
Laundry (Rated Door)			
1 ea.	Lockset - Deadbolt	E Series - Madison	Delaney
1.5 pr.	Spring Hinges	2060	Stanley
Community Room (Rated Door) (Front and Rear Entry Doors)			
1 ea.	Lockset - Deadbolt	E Series - Madison	Delaney
1.5 pr.	Spring Hinges	2060	Stanley



TYPICAL UNIT DOOR SCHEDULE												
SPACE NAME	DOOR TYPE					HARDWARE						DOOR STOP TYPE
	MTL. CLAD 6-PANEL	HARDBOARD 6-PANEL	SATIN NICKLE FINISH	CYL. DEADBOLT (SGL.)	LEVER DUMMY 2 EA	LEVER PASSAGE	LEVER PRIVACY	SPRING LOADED HINGE (2 EA)	KNOCKER/KICK VIEWER	KICK PLATE	KEY	
ENTRY	20 MIN											WALL
BEDROOM												WALL
BATHROOM												WALL
CLOSETS												WALL
LAUNDRY												WALL
MECH.											1	WALL

- DOOR SCHEDULE GENERAL NOTES:
- PROVIDE MECHANICAL CLOSET WITH DEAD BOLT ONLY AND KEYED DIFFERENT FROM THE UNIT AND ALL KEYED THE SAME.
 - HIGH DURABILITY, INSULATED STEEL OR FIBERGLASS DOORS PROVIDED AT ALL EXTERIOR LOCATIONS. SINGLE LEVER DEADBOLTS AND EYE VIEWERS ON ALL RESIDENTIAL UNIT ENTRY DOORS



- DOOR SCHEDULE GENERAL NOTES:
- PROVIDE MECHANICAL CLOSET WITH DEAD BOLT ONLY AND KEYED DIFFERENT FROM THE UNIT AND ALL KEYED THE SAME.
 - ALL INTERIOR DOORS EXCEPT DOORS TO MECH CLOSES SHALL BE SET OR UNDERCUT FOR 1" CLEARANCE ABOVE THE FINISH MATERIAL FOR HVAC AIR RETURN HIGH DURABILITY, INSULATED STEEL OR FIBERGLASS DOORS PROVIDED AT ALL EXTERIOR LOCATIONS. SINGLE LEVER DEADBOLTS AND EYE VIEWERS ON ALL RESIDENTIAL UNIT ENTRY DOORS
 - ALL EXTERIOR DOORS ON UNITS PROVIDED WITH SPRING HINGES
 - ALL OPAQUE EXTERIOR DOORS SHALL HAVE A U FACTOR LESS THAN OR EQUAL TO 0.21.
 - ALL EXTERIOR FRENCH DOORS SHALL HAVE A U FACTOR LESS THAN OR EQUAL TO 0.32.

- DOORS AND WINDOWS GENERAL NOTES:
- HIGH DURABILITY, INSULATED DOORS (SUCH AS STEEL AND FIBERGLASS) ARE REQUIRED AT ALL EXTERIOR LOCATIONS. SINGLE LEVER DEADBOLTS AND EYE VIEWERS ARE REQUIRED ON ALL MAIN ENTRY DOORS TO RESIDENTIAL UNITS.
 - EXTERIOR DOORS FOR FULLY ACCESSIBLE UNITS (TYPE A) MUST INCLUDE SPRING HINGES.
 - INSULATED, DOUBLE PANE, WINDOWS ENERGY STAR RATED REQUIRED FOR NEW CONSTRUCTION.
 - WINDOWS MUST NOT BE LOCATED OVER TUB OR SHOWER UNITS.
 - IN TYPE A ACCESSIBLE UNITS, AN AUDIBLE ALARM AND STROBE LIGHT MUST BE INSTALLED ABOVE THE ENTRY DOOR.
 - OPENING LIMITERS SHALL BE PROVIDED WHERE THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW. A LIMITER SHALL BE INSTALLED ON THE OPERABLE SASH TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH THE WINDOW OPENING.
 - WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - TYPE "A" ACCESSIBLE UNITS SHALL HAVE "AUTO-LOCK" OPTION SO THAT WINDOWS CAN BE OPERATED WITHIN 48" AFF REACH RANGE.

APPLIANCE SCHEDULE				
RM. NAME	MFG	DESCRIPTION	MODEL #	COLOR
STANDARD UNITS				
REFRIGERATOR	GE	ENERGY STAR® 11.5 CU. FT. TOP-FREEZER REFRIGERATOR	GIE18CTHWU	WHITE
RANGE OVEN	GE	30" FREE-STANDING ELECTRIC RANGE/OVEN	JB6160DMWU	WHITE
RANGE HOOD	GE	EXTERNALLY VENTED RANGE HOOD	JV338HWU	WHITE
DISHWASHER	GE	ENERGY STAR® BUILT-IN DISHWASHER	GSD330IKWU	WHITE
HC UNITS				
REFRIGERATOR	GE	ENERGY STAR® 23.1 CU. FT. SIDE-BY-SIDE REFRIGERATOR WITH DISPENSER	GFE24JGKUU	WHITE
RANGE OVEN	GE	30" DROP-IN ELECTRIC RANGE WITH SELF-CLEANING OVEN	JD630DRWU	WHITE
RANGE HOOD	GE	EXTERNALLY VENTED RANGE HOOD W/ REMOTE SWITCHING	JV338HWU	WHITE
DISHWASHER	GE	ENERGY STAR® BUILT-IN DISHWASHER WITH HIDDEN CONTROLS	GDT530PGWU	WHITE
COMMON AREA				
REFRIGERATOR	GE	ENERGY STAR® 23.1 CU. FT. SIDE-BY-SIDE REFRIGERATOR WITH DISPENSER	GFE24JGKSS	CLEAN STEEL
DISHWASHER	GE	ENERGY STAR® BUILT-IN DISHWASHER WITH HIDDEN CONTROLS	GDT530PSPSS	STAINLESS STEEL

ISSUANCE 9-22-21

PROJECT 2018-043

DATE 7-14-21

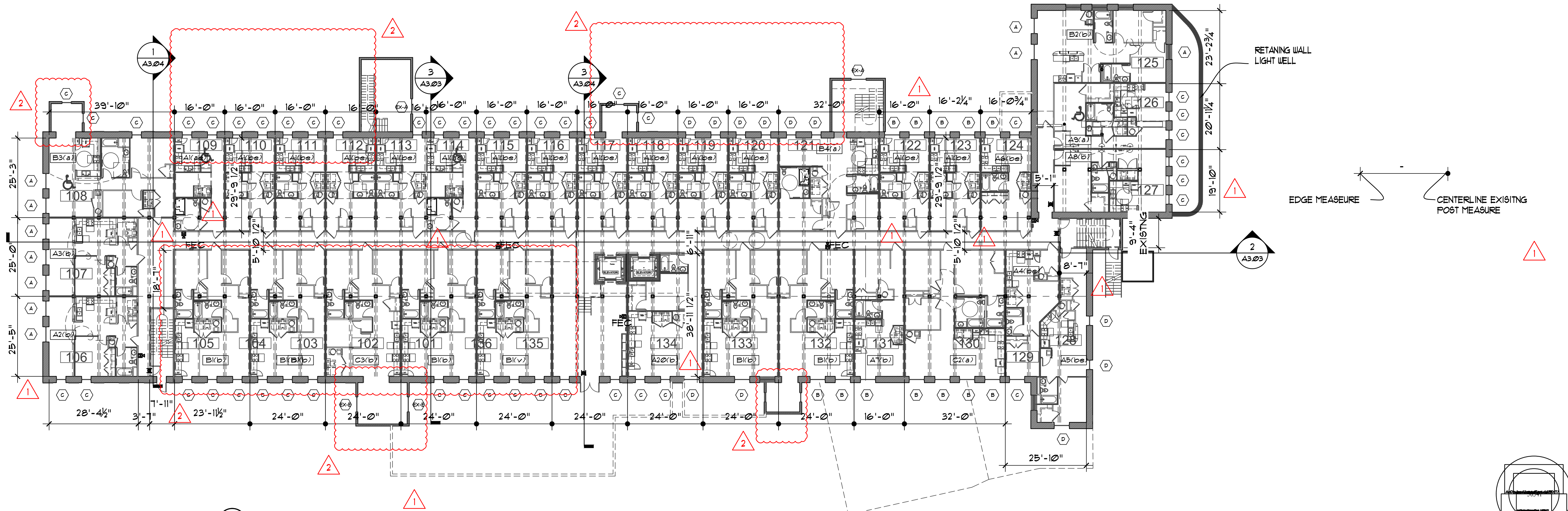
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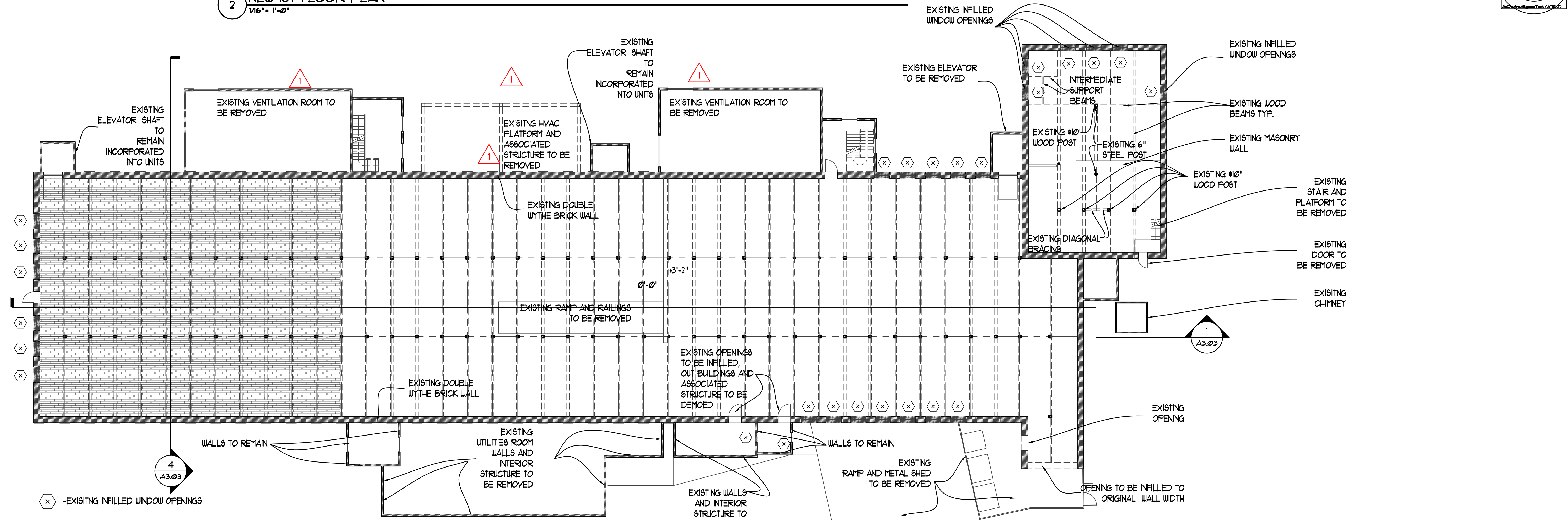
COLEMAN MILL APARTMENTS
 CONCORD, NC

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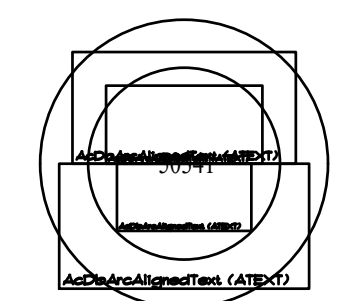
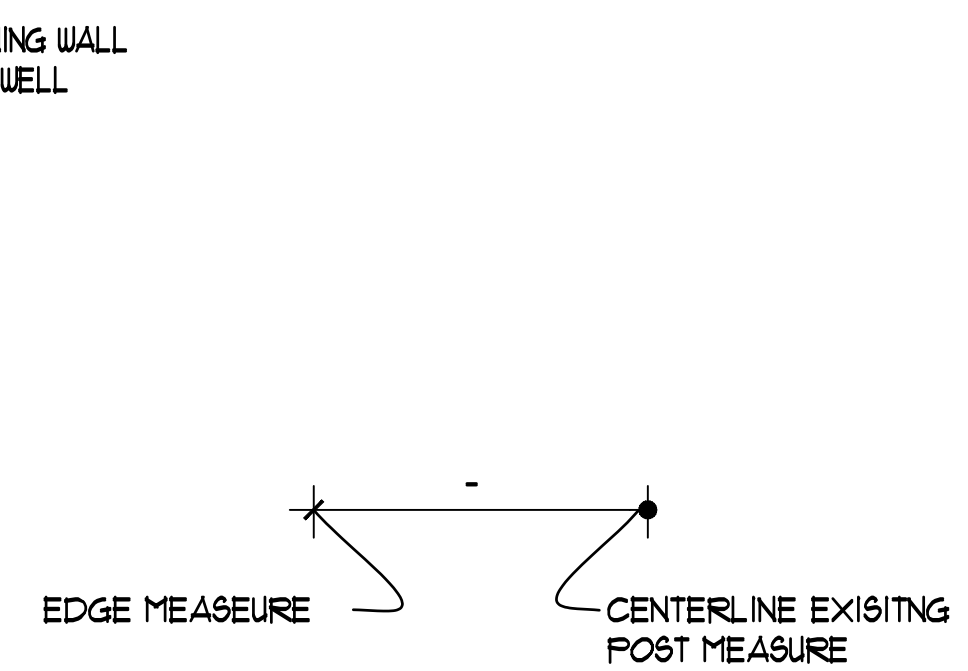
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2 NEW 1ST FLOOR PLAN
1/16" = 1'-0"



1 EXISTING 1ST FLOOR PLAN
1/16" = 1'-0"



REVISIONS
9-22-21
11-8-22

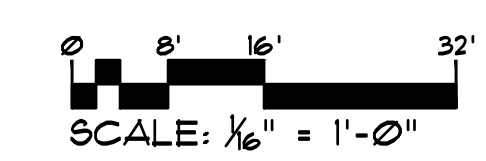
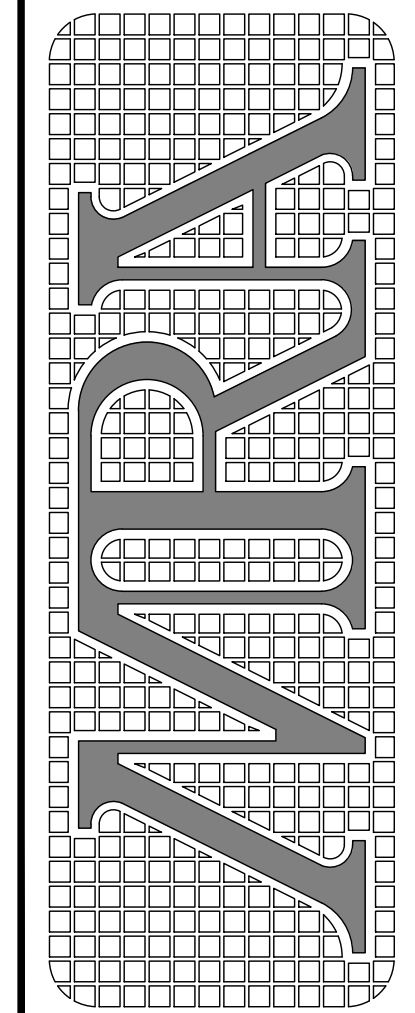
PROJECT
2018-043

DATE
7-14-21

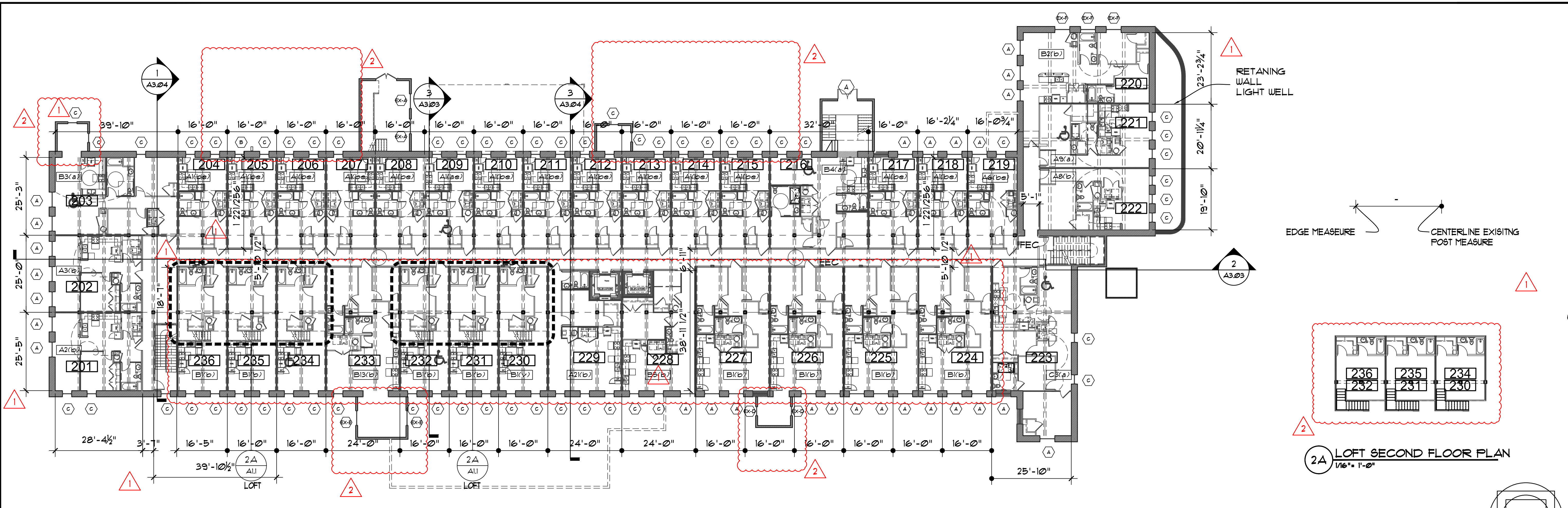
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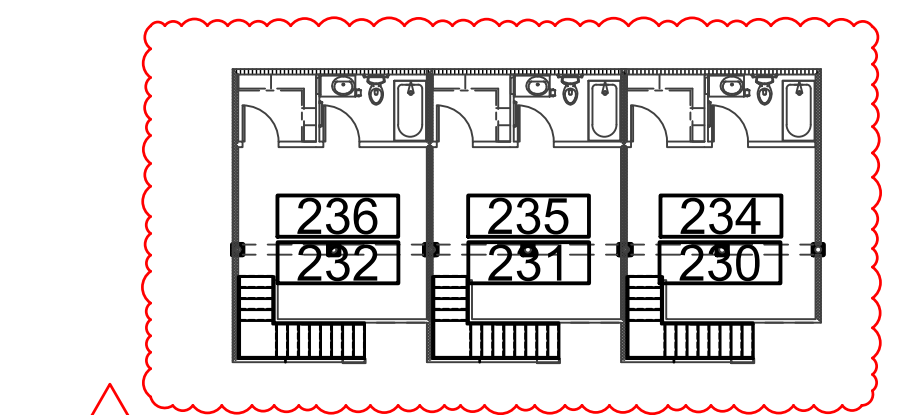
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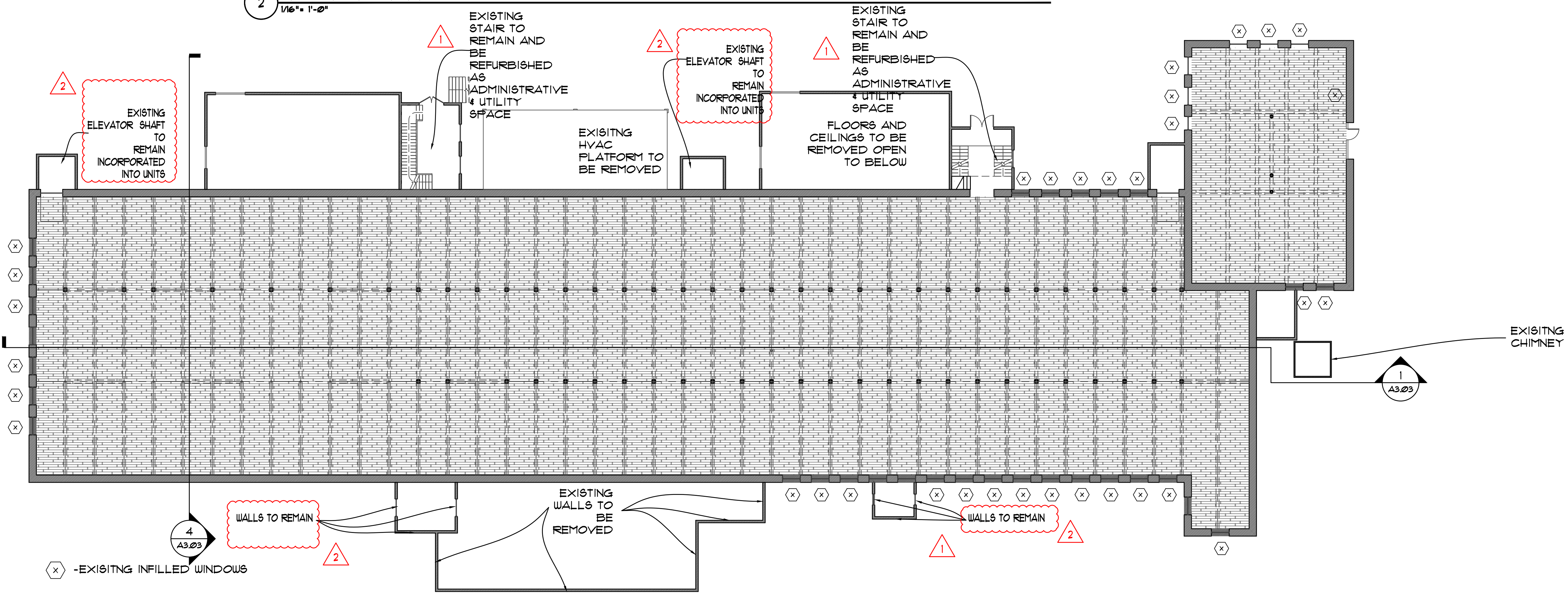


EDGE MEASURE
CENTERLINE EXISTING POST MEASURE

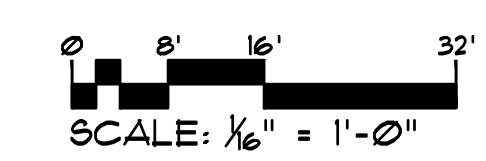


2A LOFT SECOND FLOOR PLAN
1/16" = 1'-0"

2 NEW 2ND FLOOR PLAN
1/16" = 1'-0"



1 EXISTING 2ND FLOOR PLAN
1/16" = 1'-0"

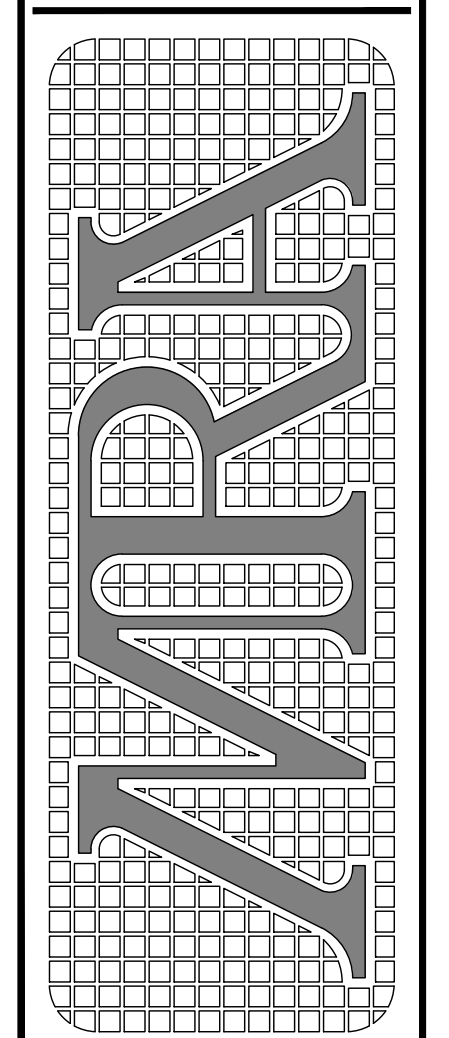


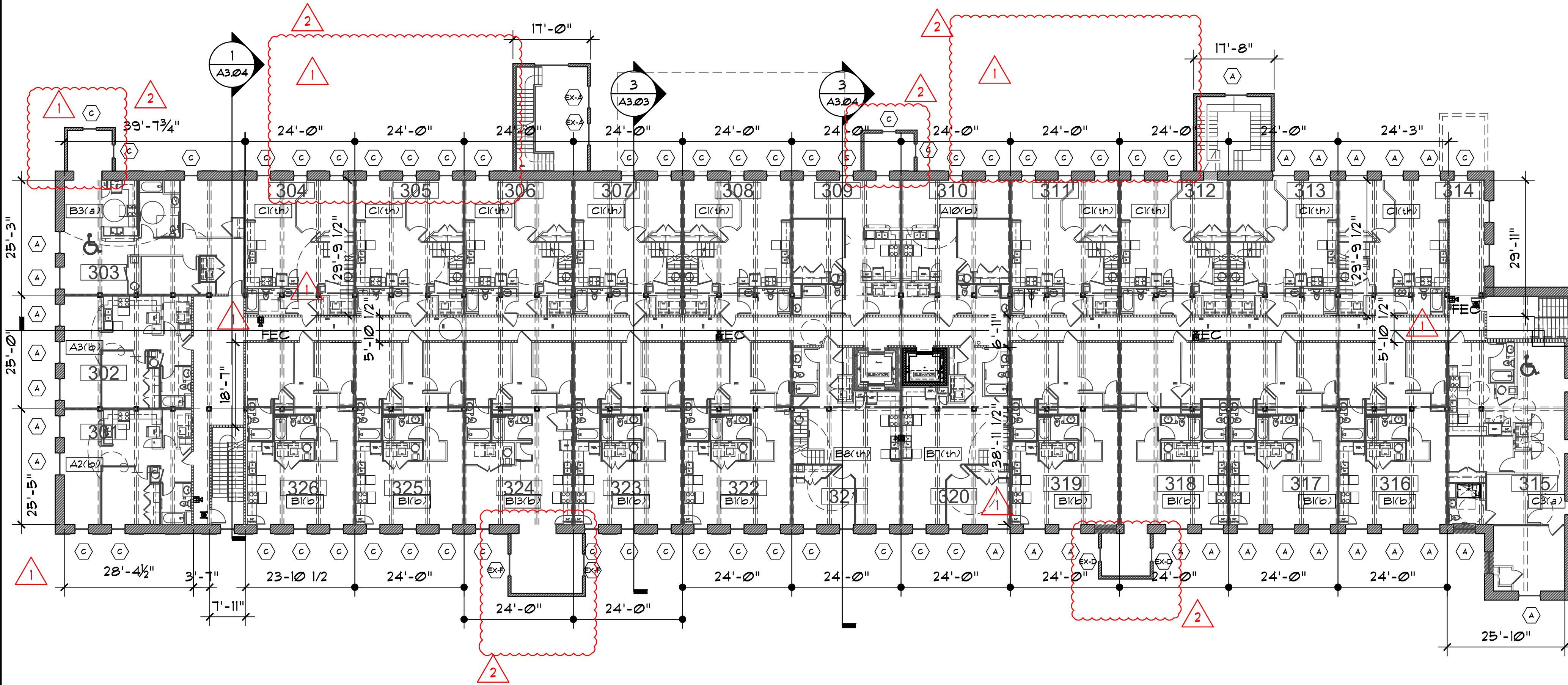
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 ARCHITECTS, P.C.
 3253
 NORTH LAKE AVENUE, SUITE 200
 ATLANTA, GEORGIA

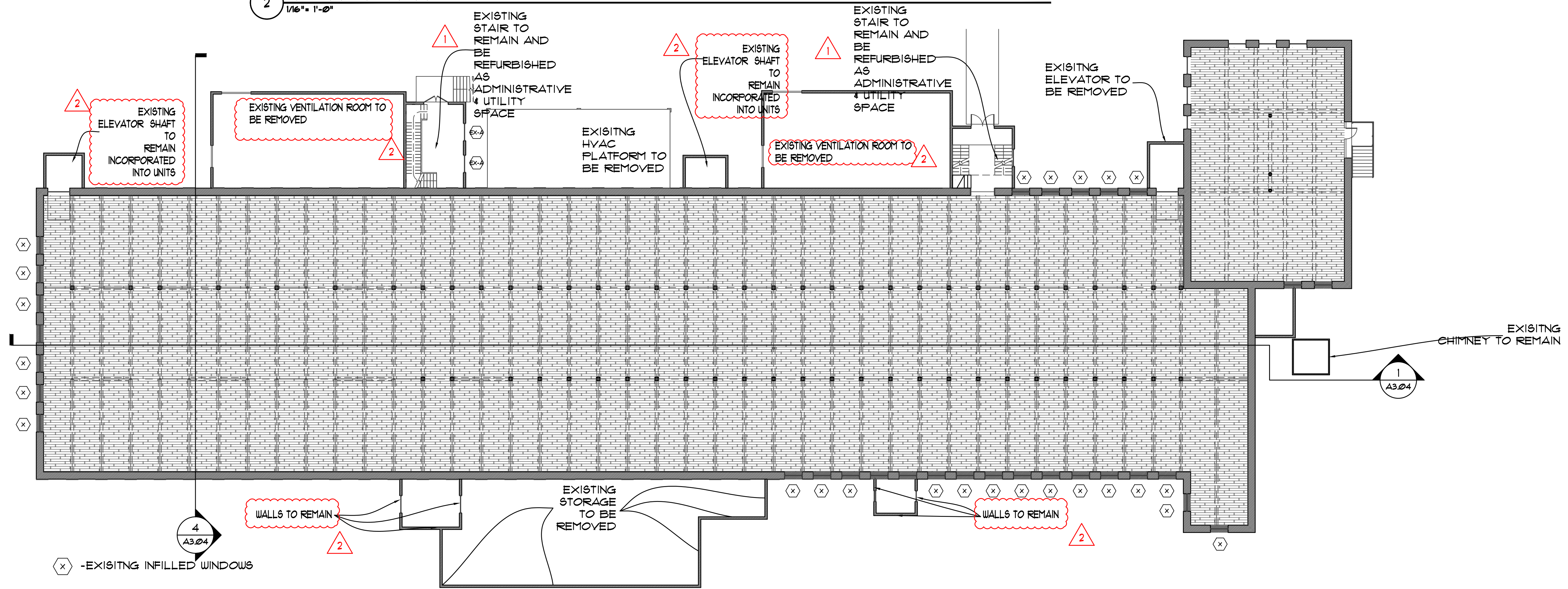
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EDGE MEASURE
 CENTERLINE EXISTING POST MEASURE

2 NEW 3RD FLOOR PLAN
 1/16" = 1'-0"



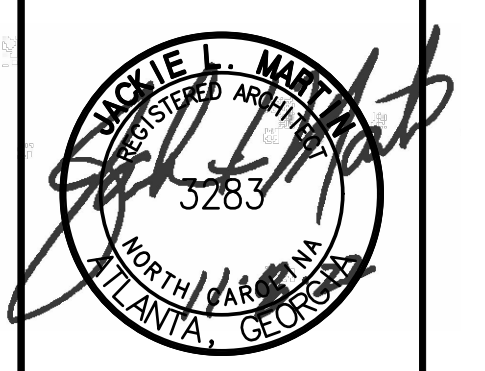
1 EXISTING 3RD FLOOR PLAN
 1/16" = 1'-0"

REVISIONS
 9-22-21
 11-8-22

PROJECT
 2018-043

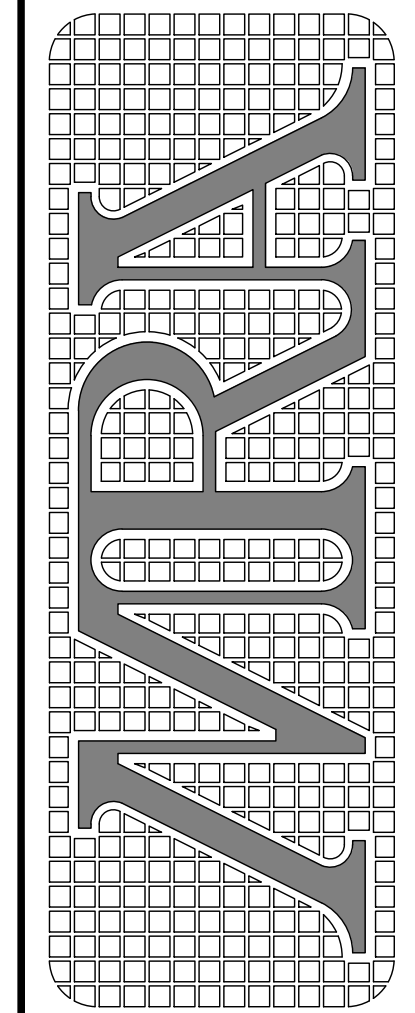
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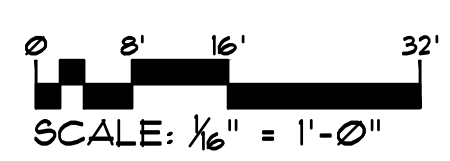


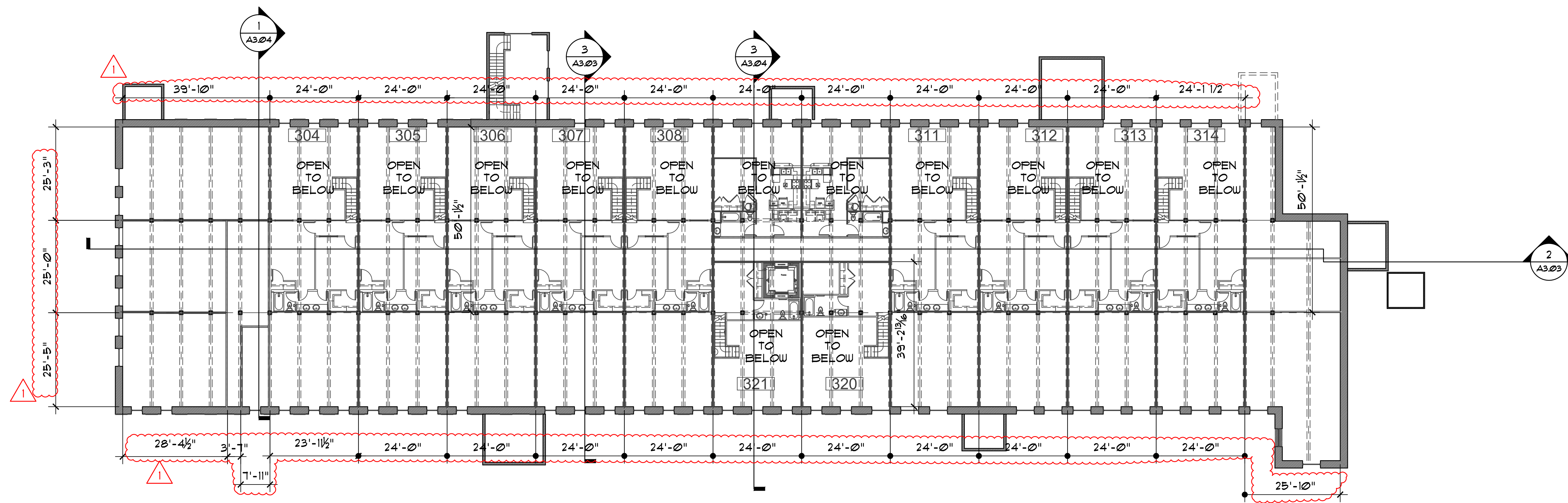
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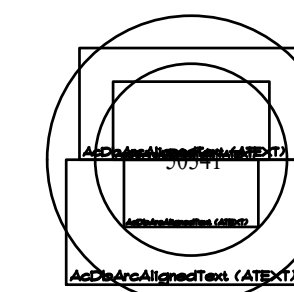
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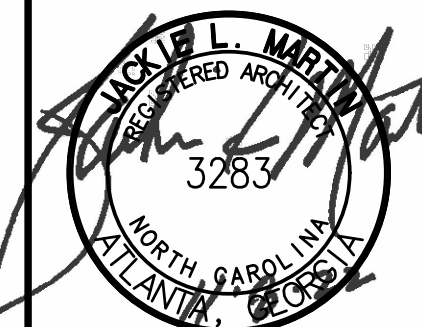


1 NEW 3RD FLOOR LOFTED UNITS PLAN
 1/16" = 1'-0"

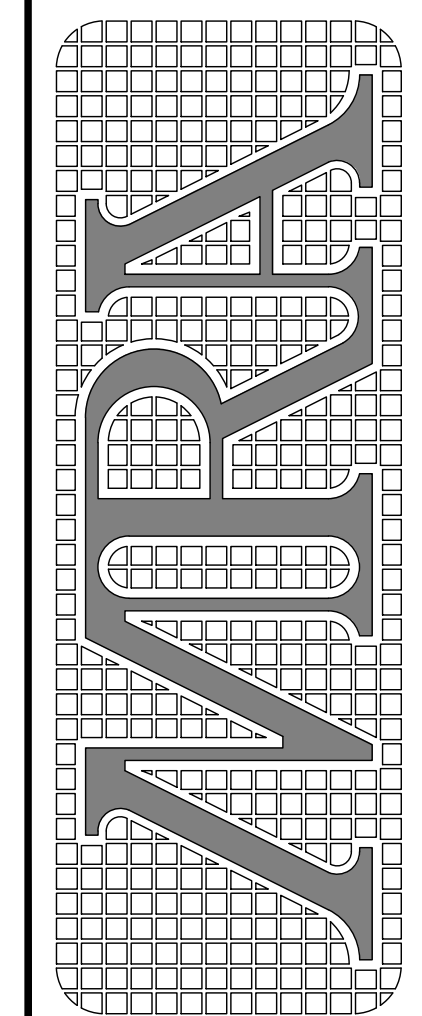
SCALE: 1/16" = 1'-0"



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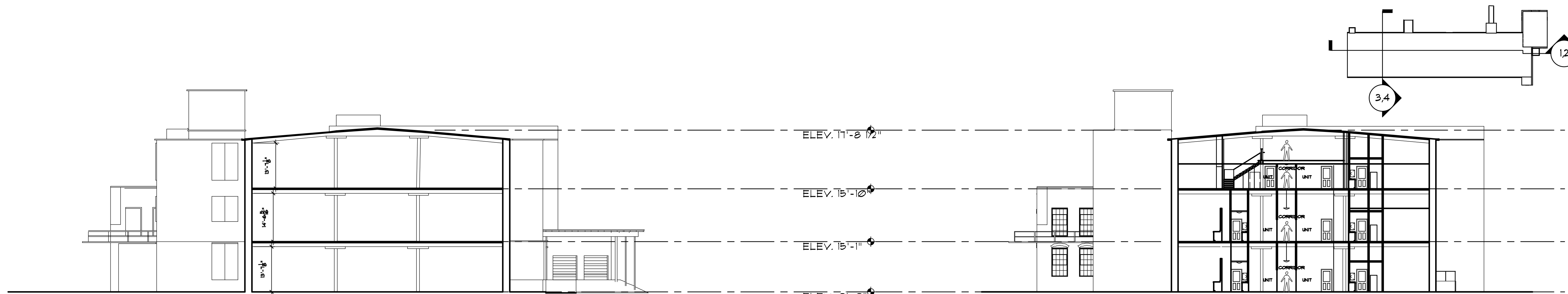


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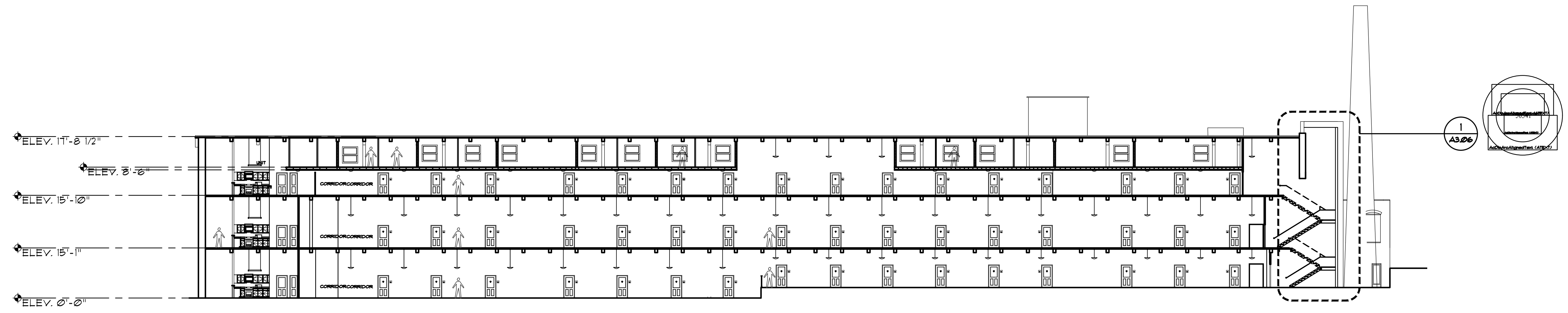
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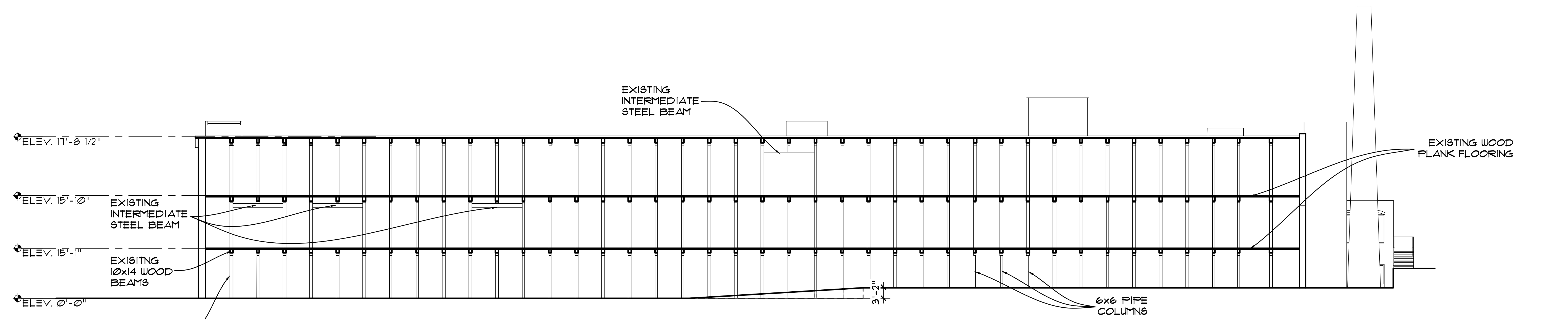


4 MAIN MILL EXISTING TRANSVERSE SECTION
1/16"=1'-0"

3 MAIN MILL NEW TRANSVERSE SECTION
1/16"=1'-0"



2 MAIN MILL NEW LONGITUDE SECTION
1/16"=1'-0"



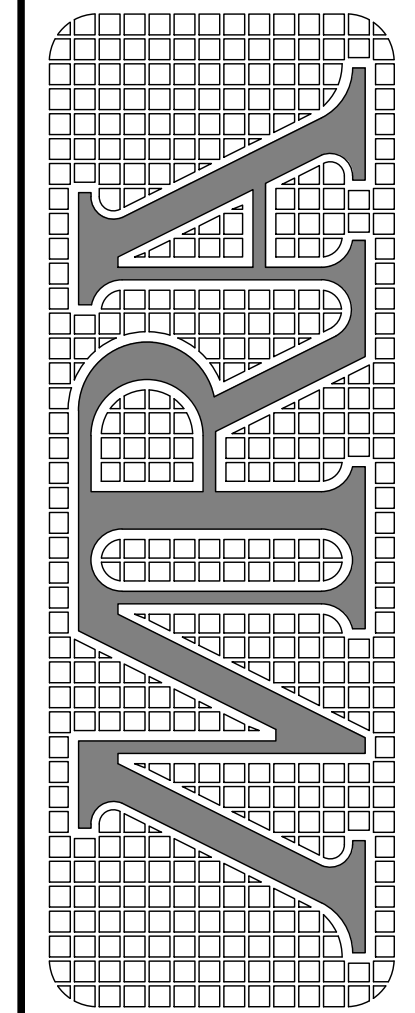
1 MAIN MILL EXISTING LONGITUDE SECTION
1/16"=1'-0"

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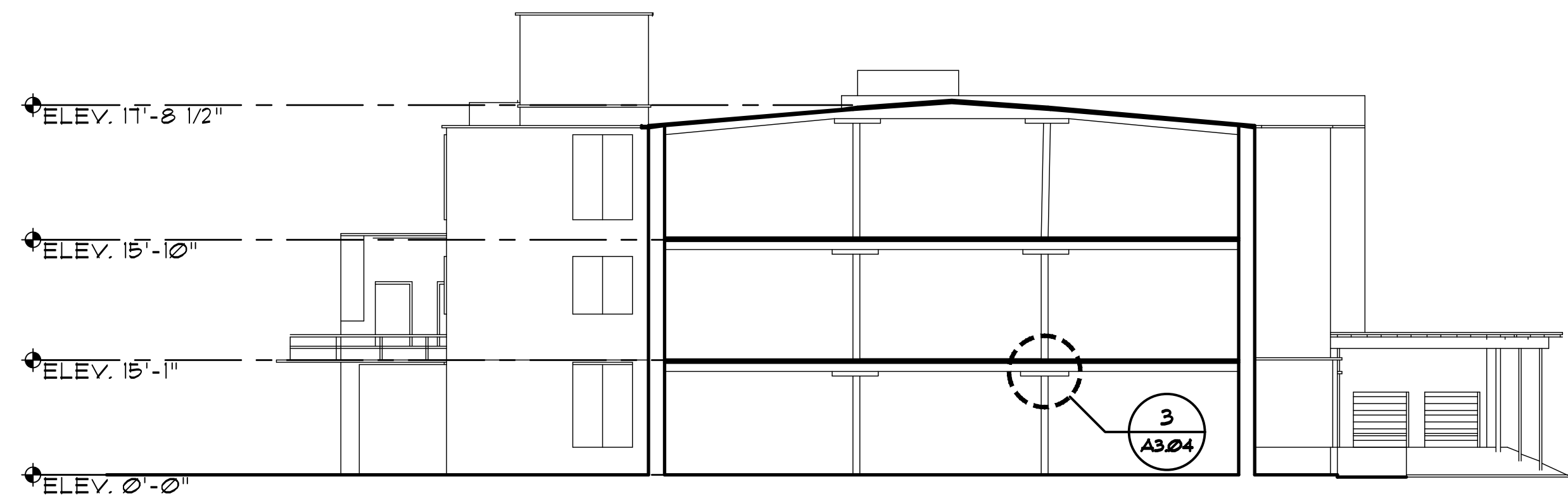
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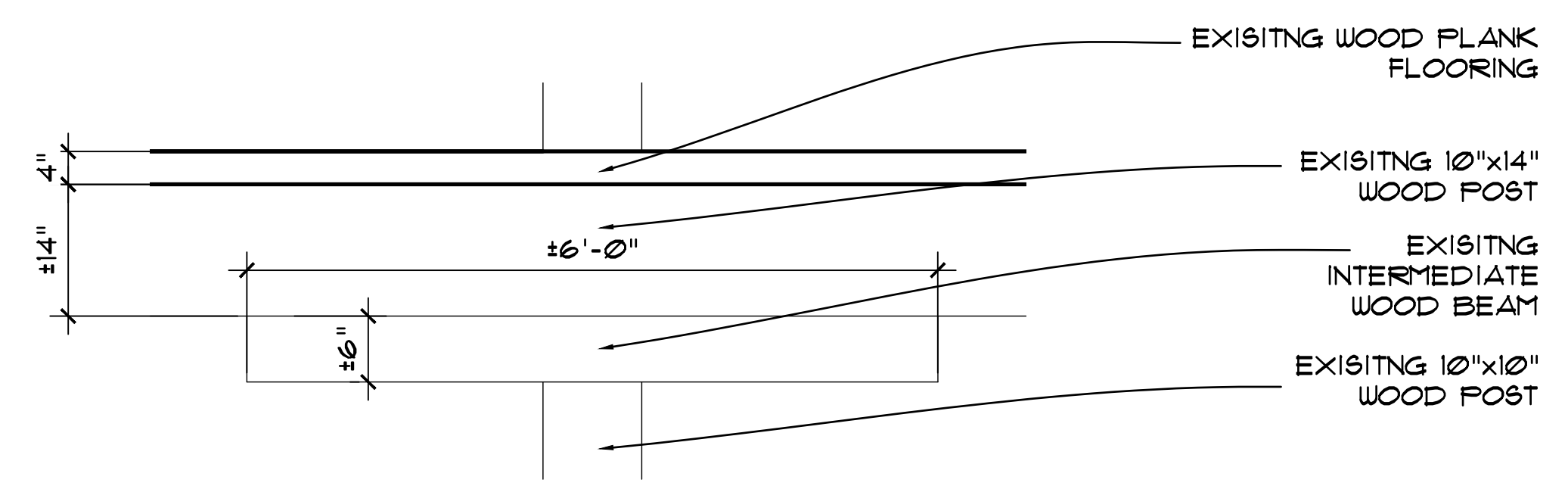


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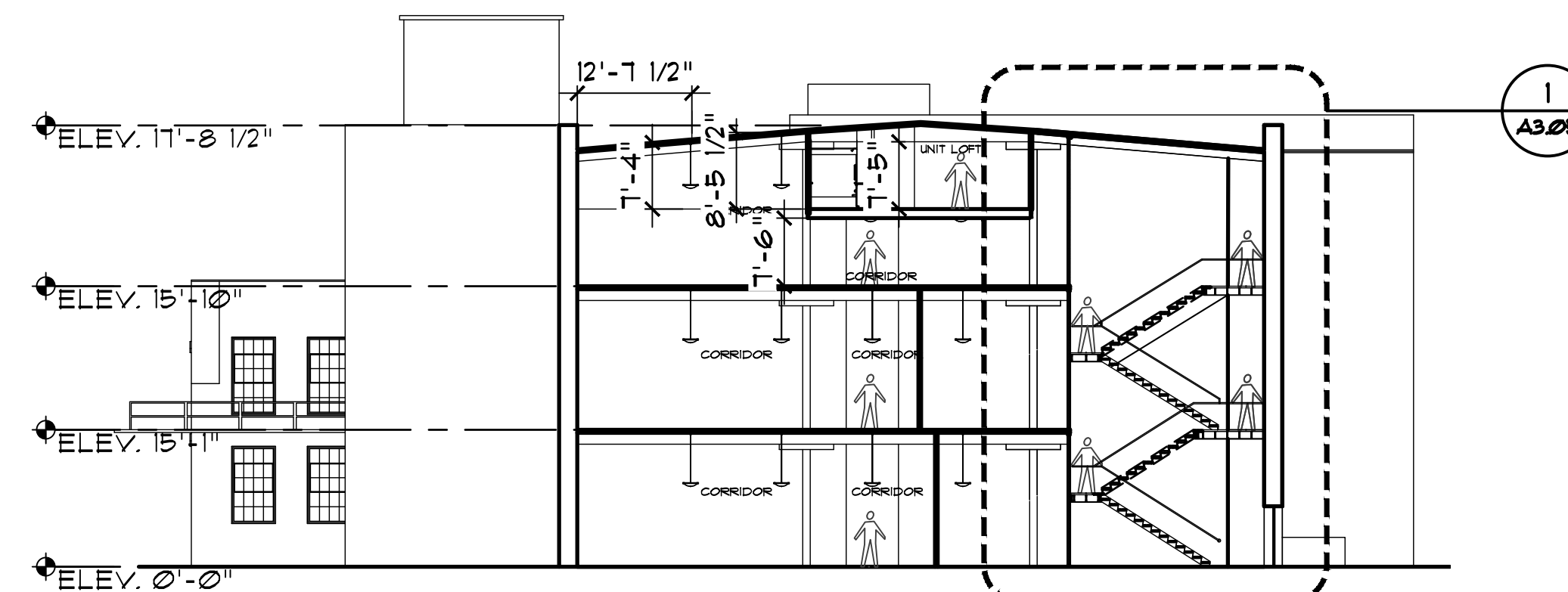
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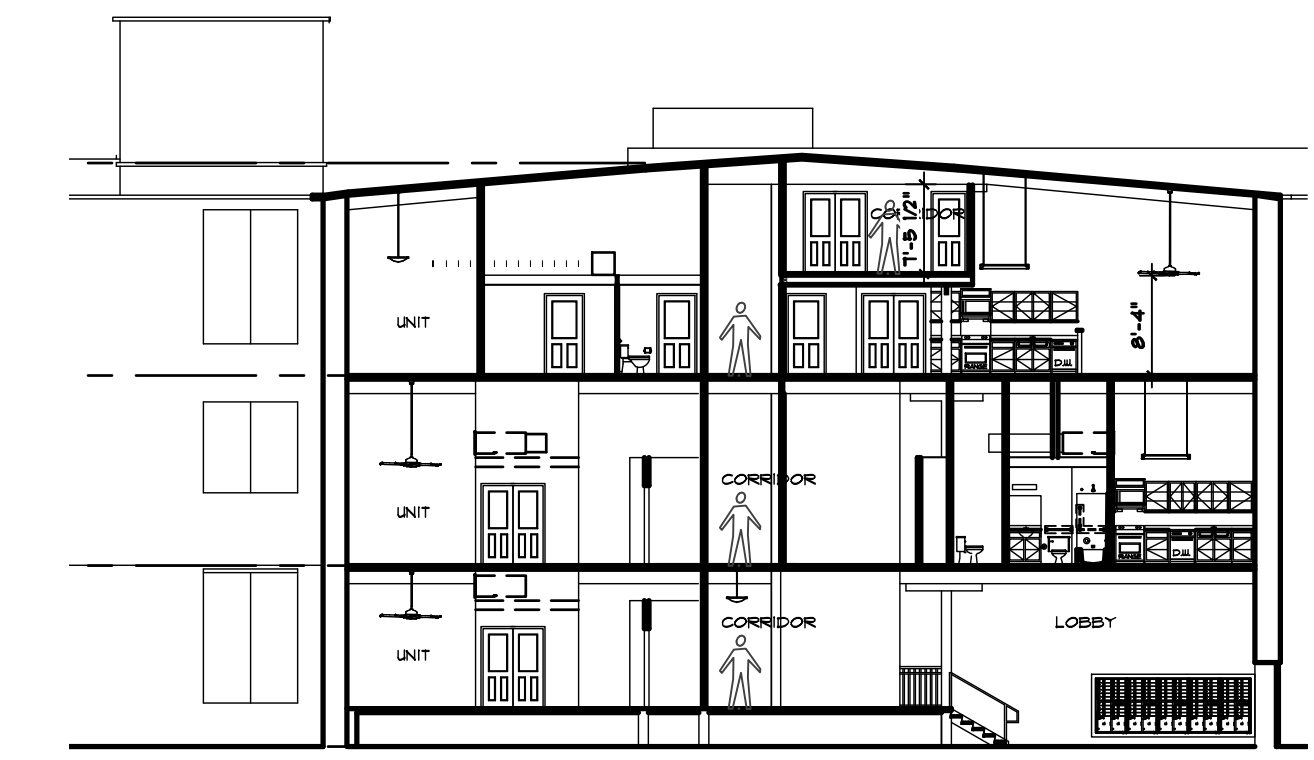
2 MAIN MILL TRANSVERSE SECTION @ WEST STAIR
1/16"=1'-0"



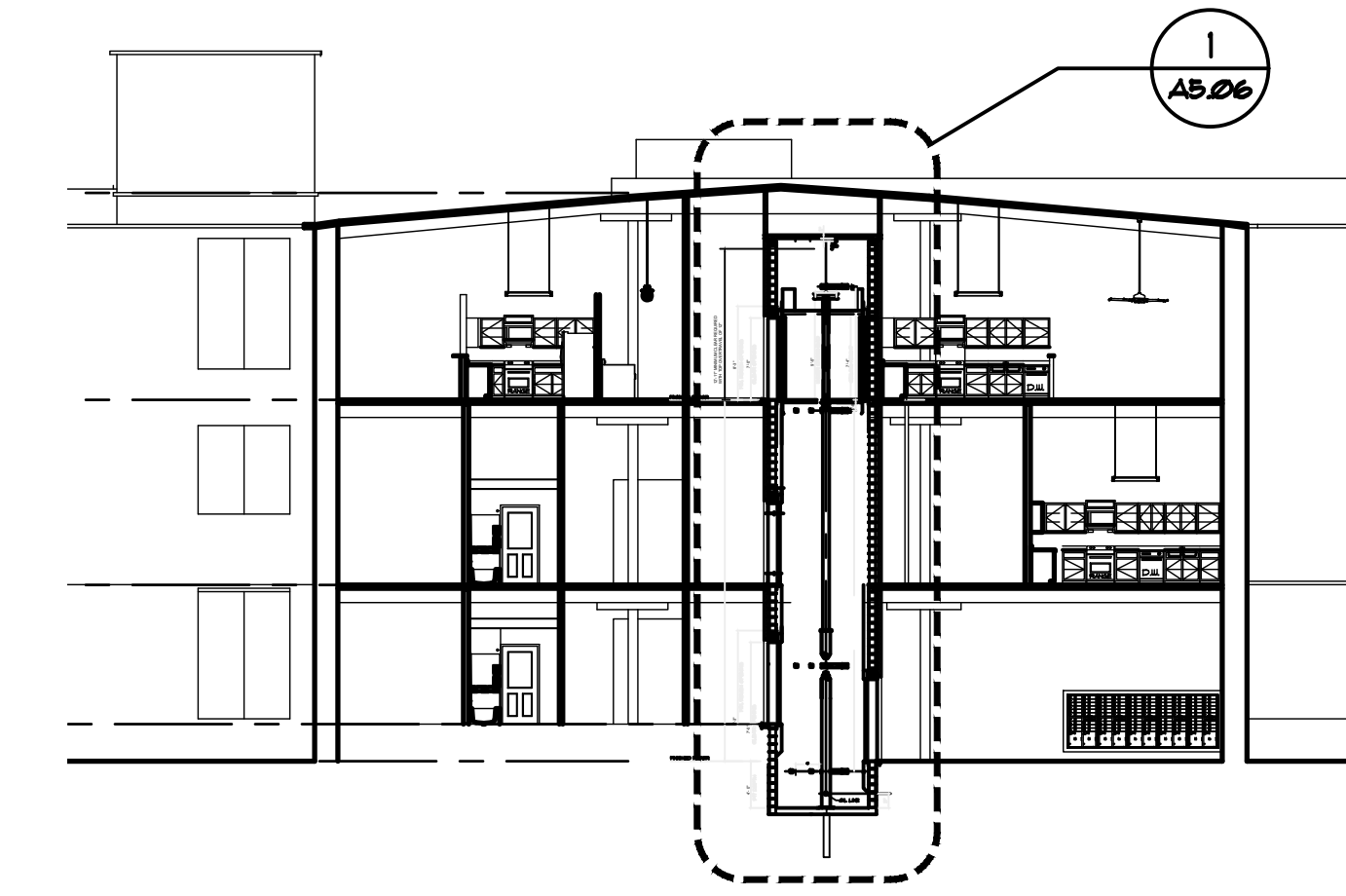
4 EXISTING POST AND BEAM CONDITION
3/4"=1'-0"



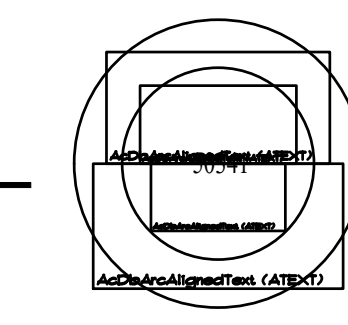
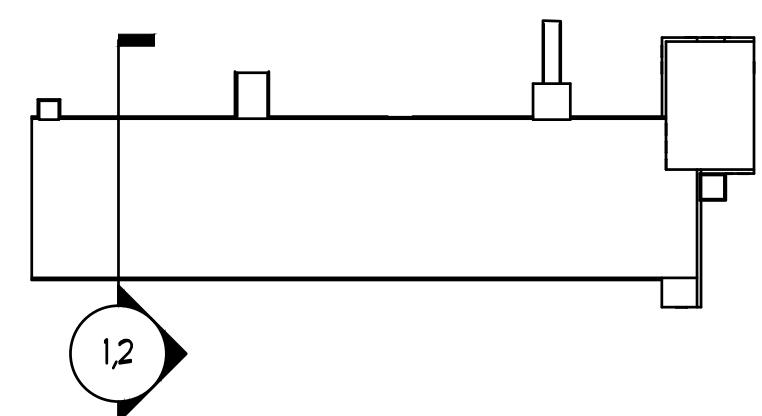
1 MAIN MILL NEW TRANSVERSE SECTION @ WEST STAIR
1/16"=1'-0"



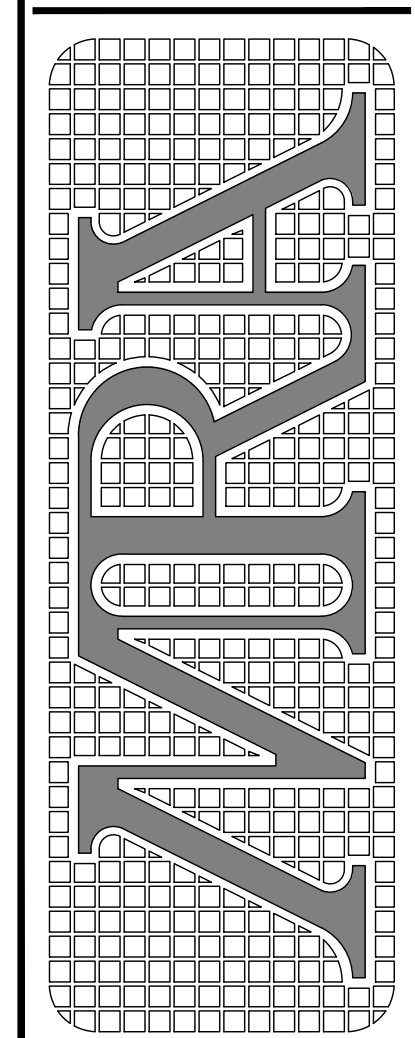
3 MAIN MILL NEW TRANSVERSE SECTION
1/16"=1'-0"



5 MAIN MILL NEW TRANSVERSE SECTION @ ELEVATOR
1/16"=1'-0"



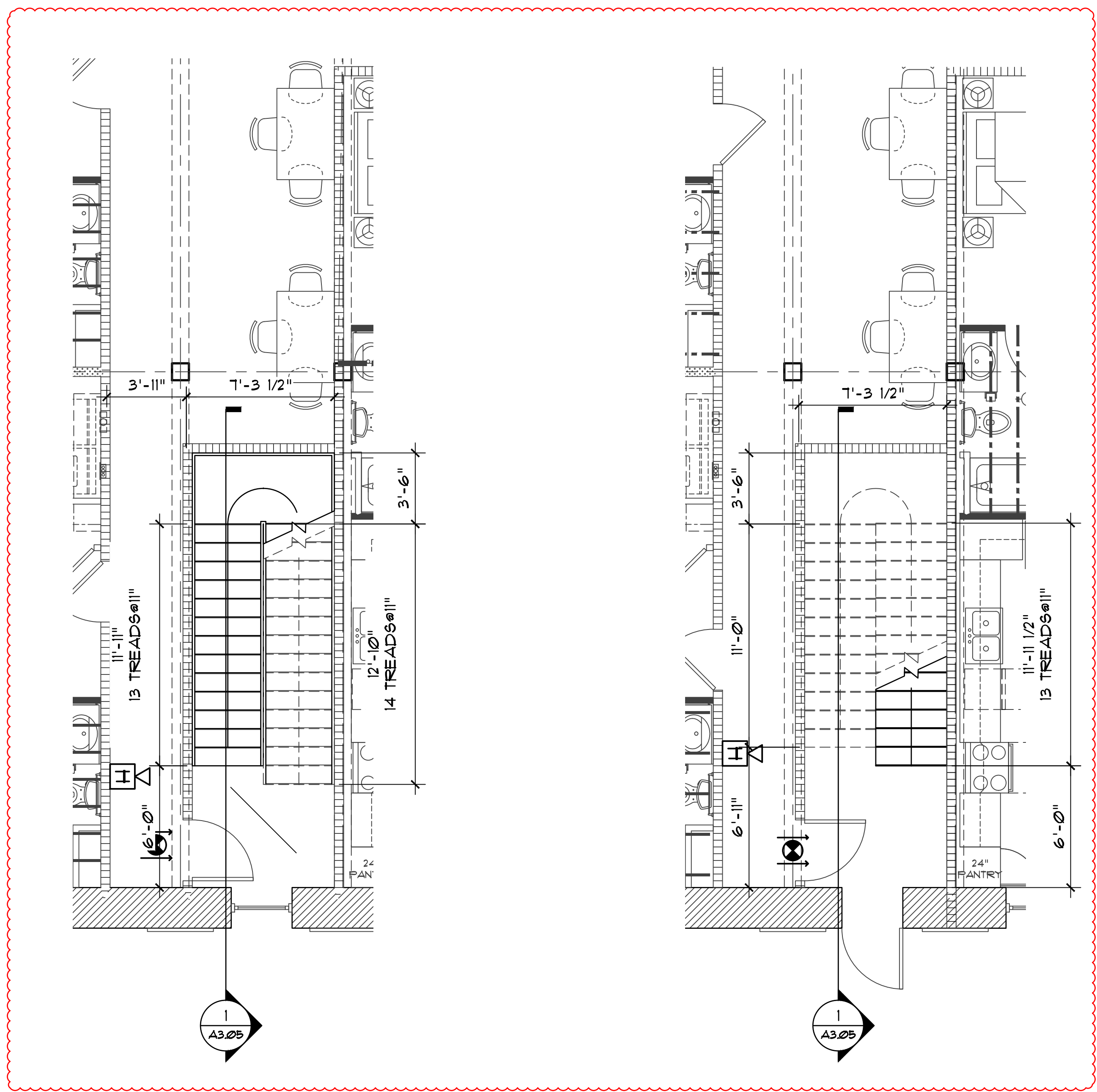
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A3.04

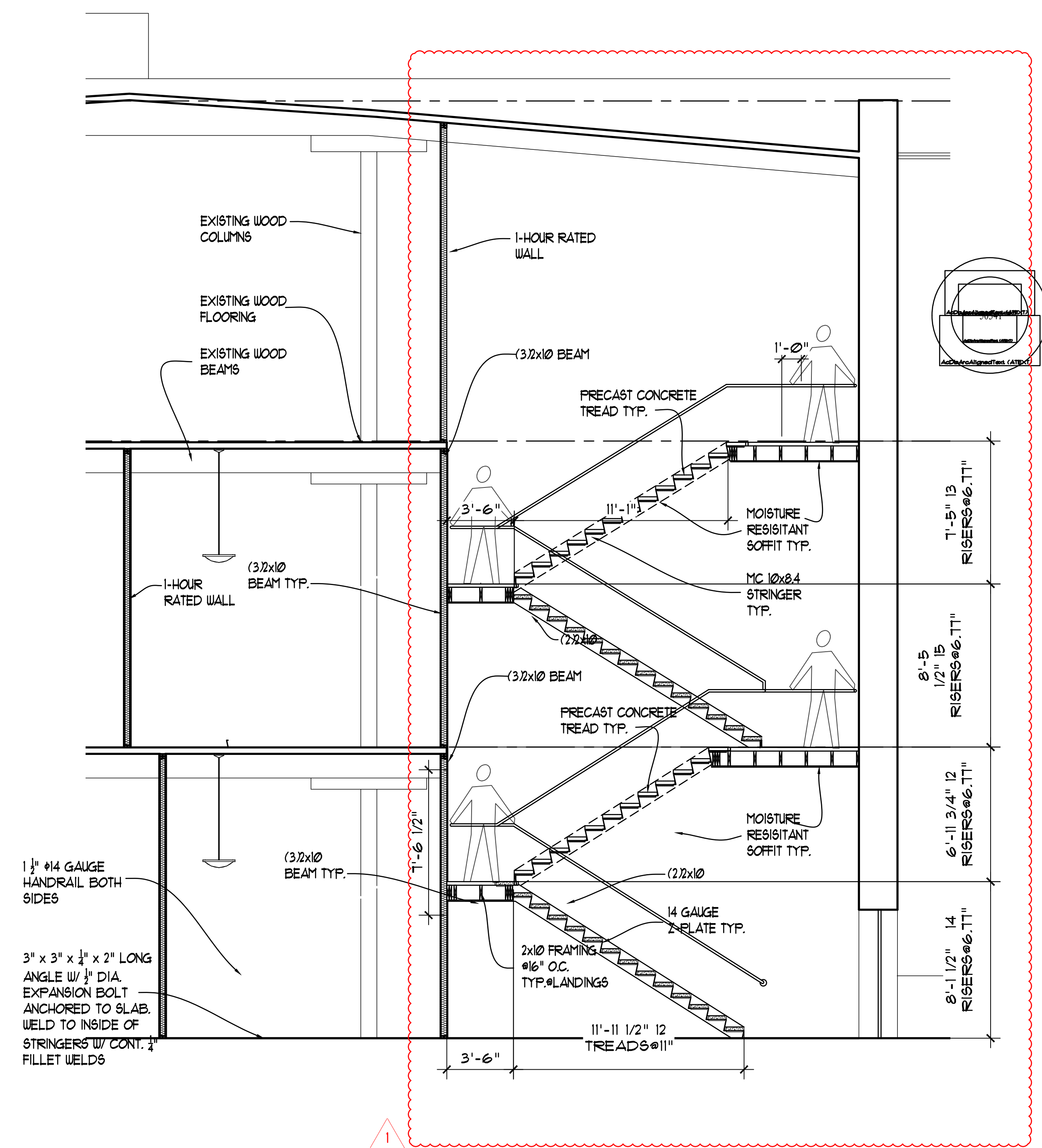
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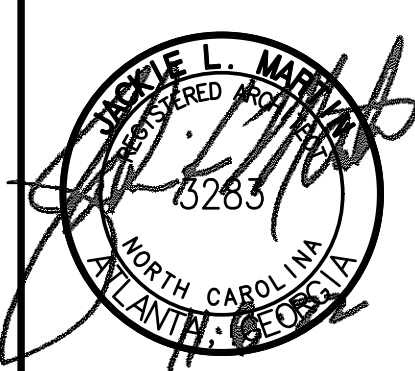
3 2ND FLOOR/3RD FLOOR STAIR PLAN
1/4" = 1'-0"

2 1ST FLOOR/2ND FLOOR STAIR PLAN
1/4" = 1'-0"

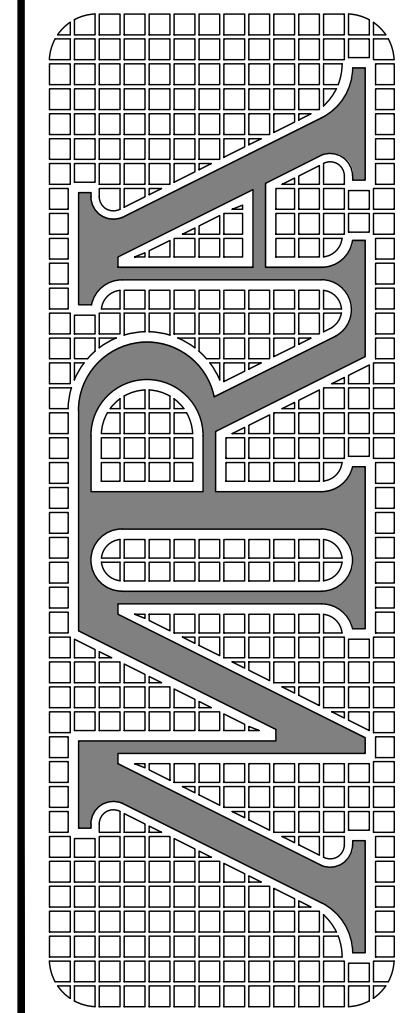


1 MILL WEST STAIR SECTION
1/4" = 1'-0"

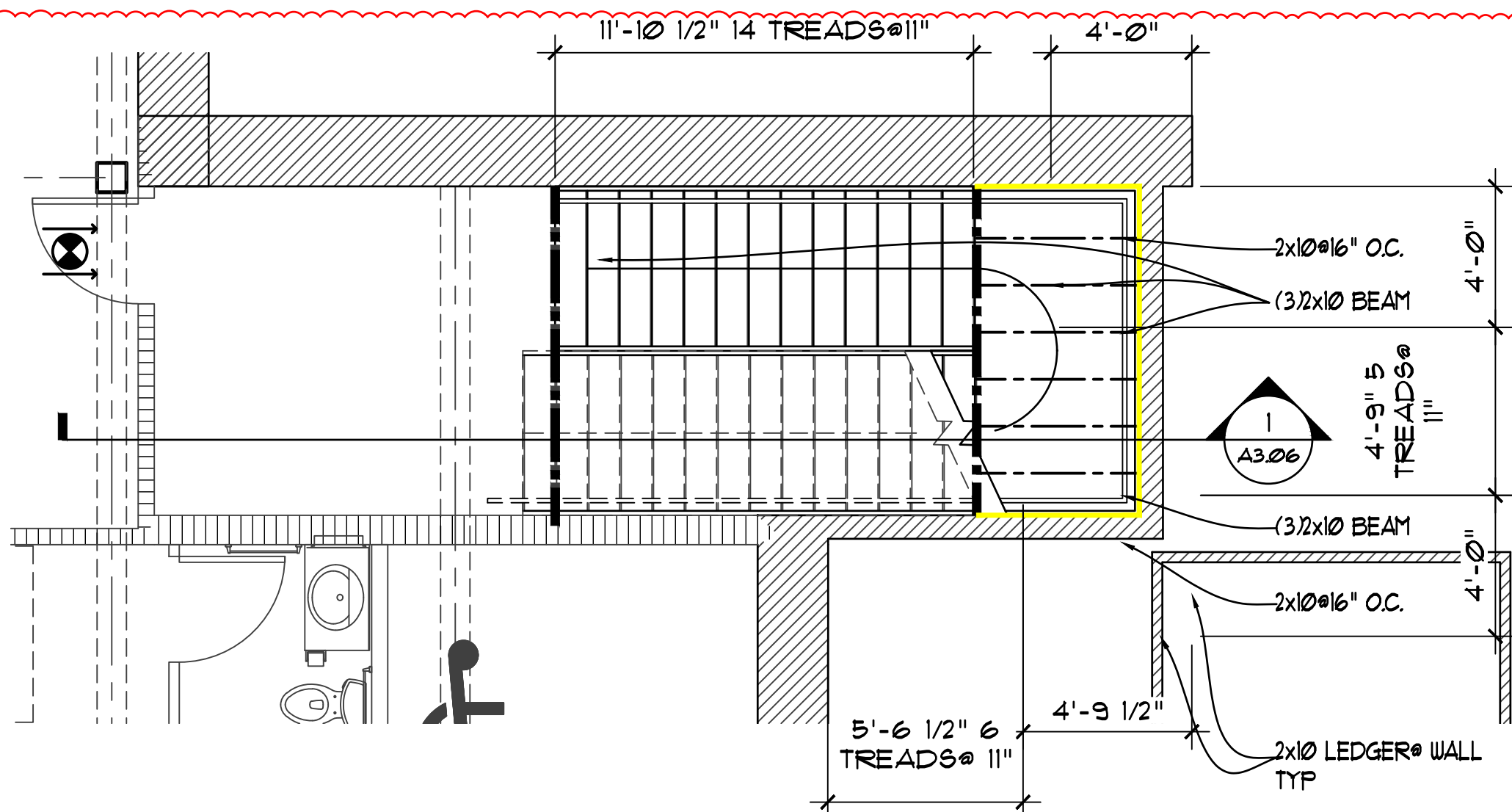
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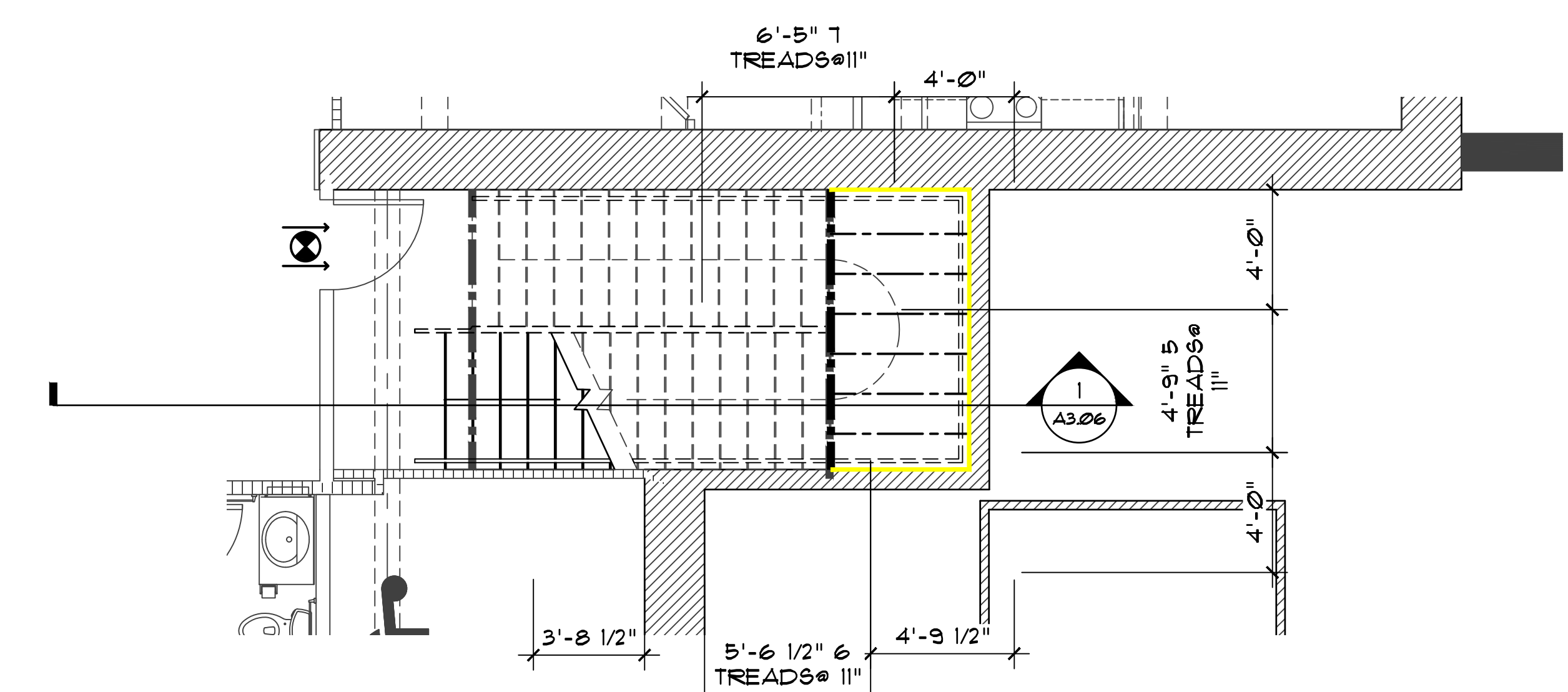
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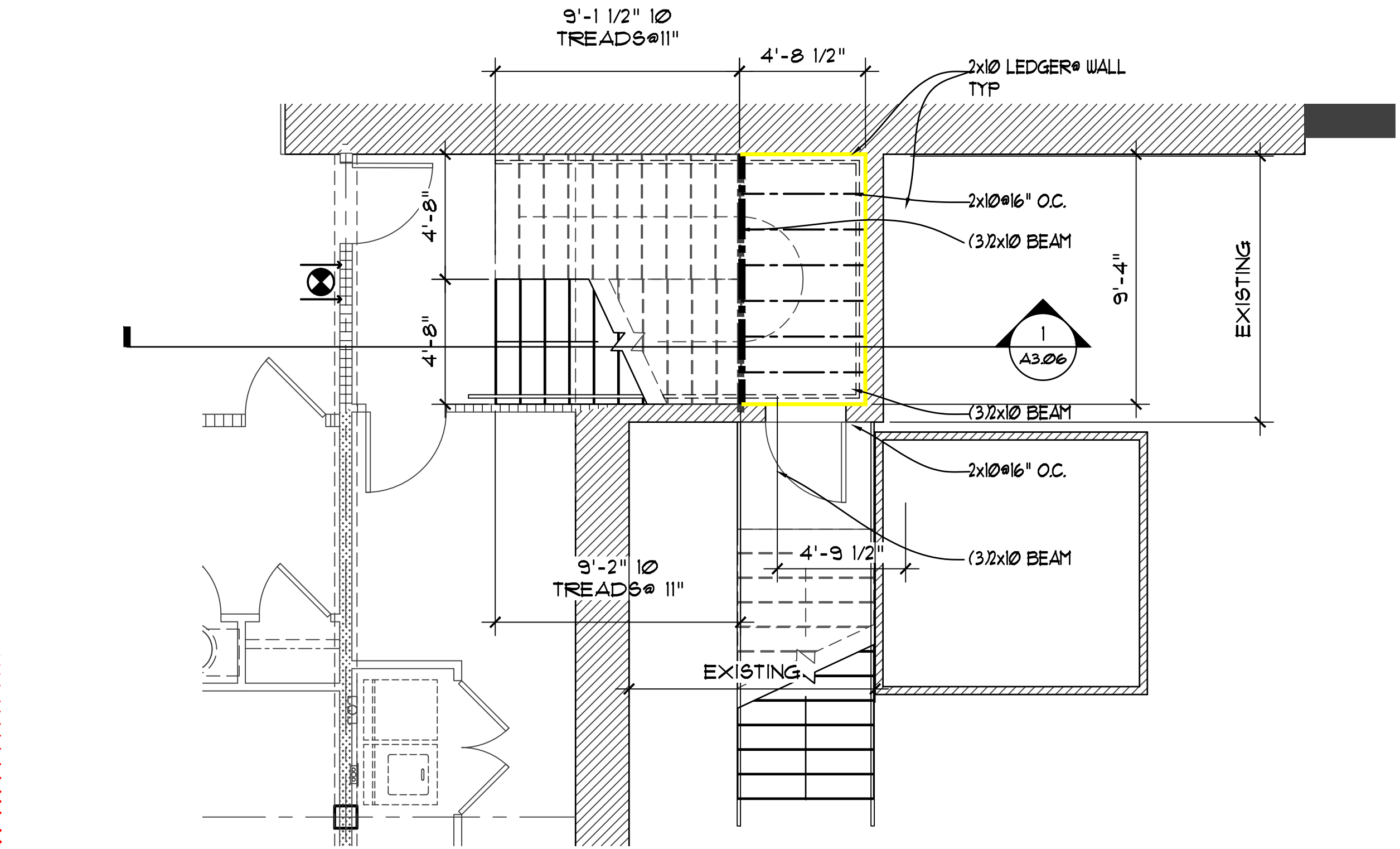
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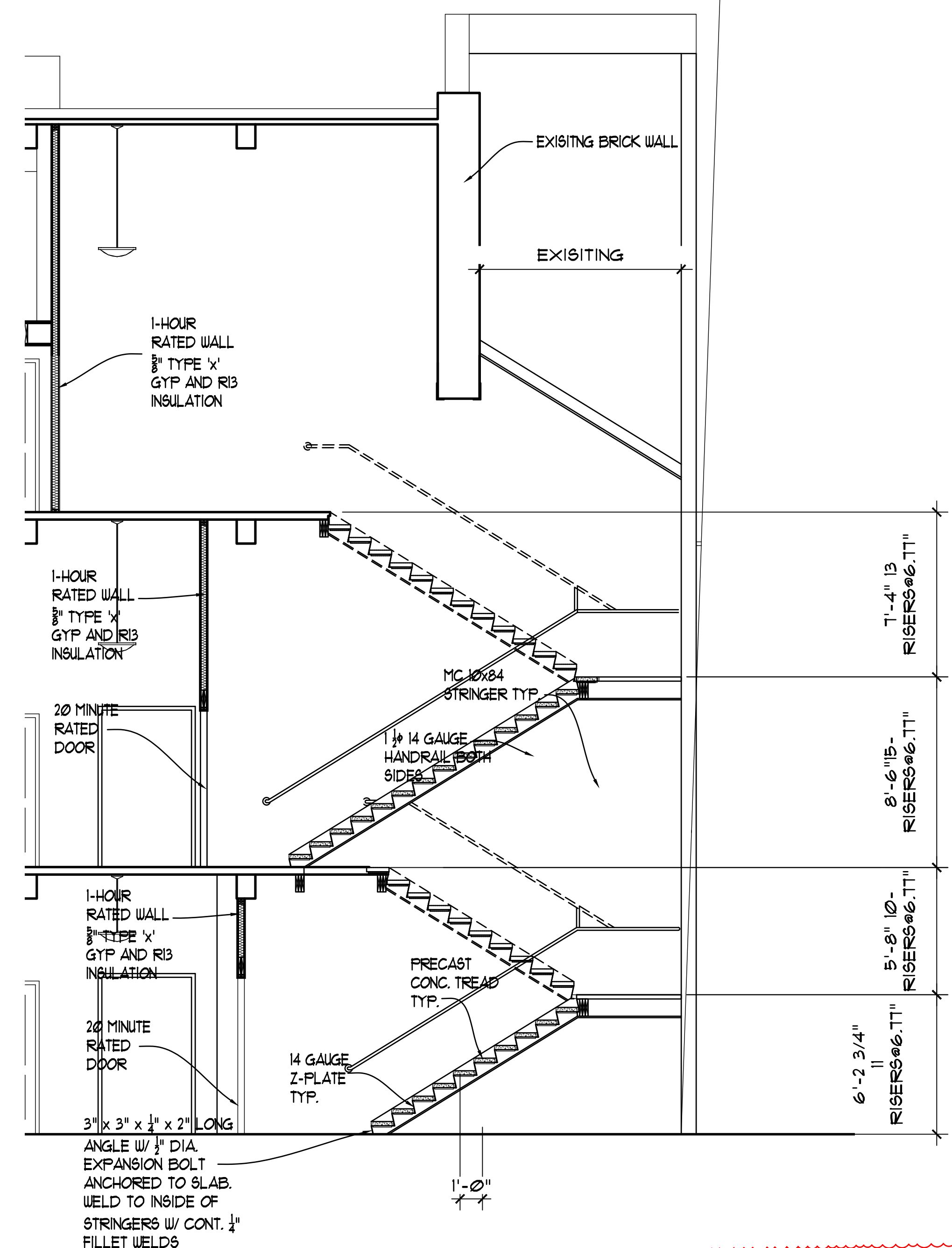
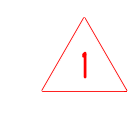
4 MILL EAST 3RD FLOOR STAIR PLAN
1/4"=1'-0"



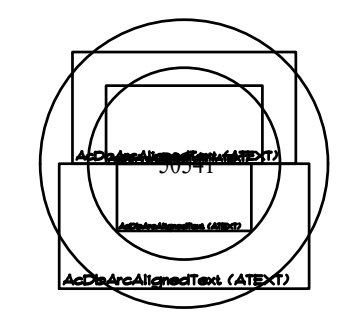
3 MILL EAST 2ND FLOOR STAIR PLAN
1/4"=1'-0"



2 MILL EAST 1ST FLOOR STAIR PLAN
1/4"=1'-0"

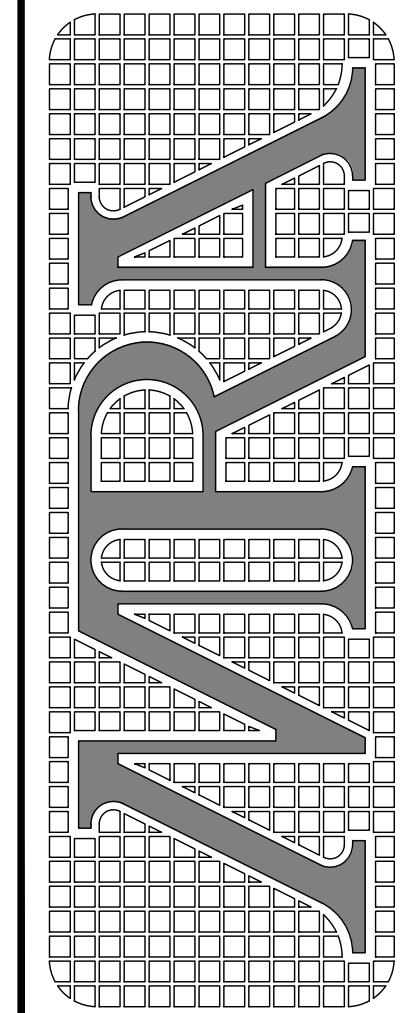


1 MILL EAST STAIR SECTION
1/4"=1'-0"

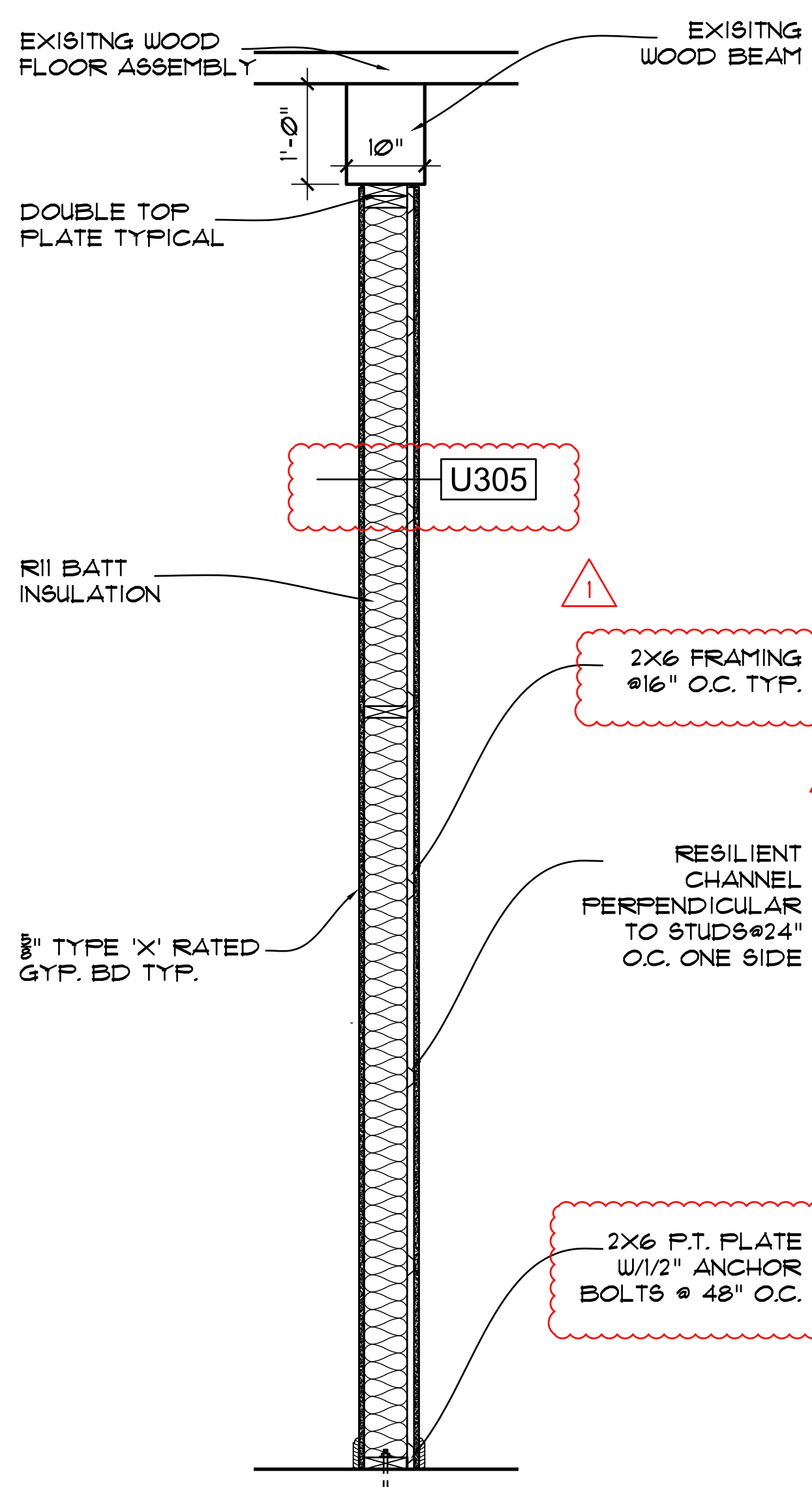


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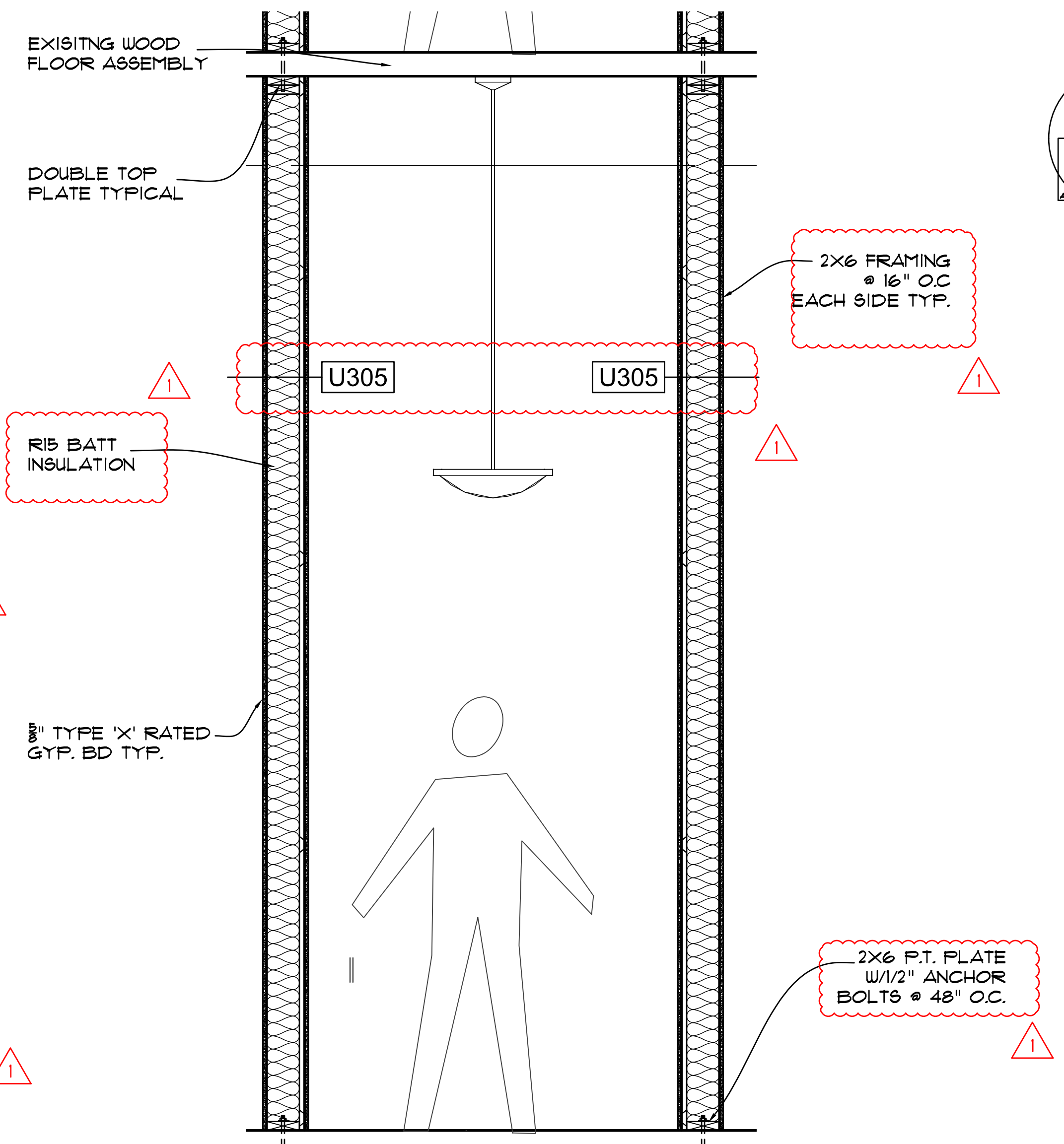
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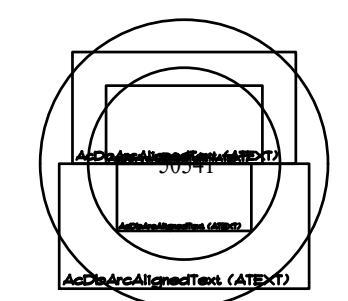
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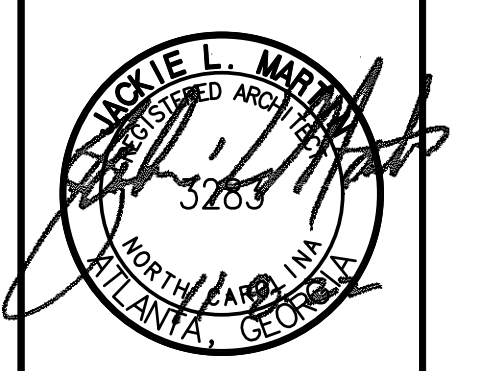
2 TYP. TENANT SEPARATION WALLS IN MAIN MILL
3/4" x 1'-0"



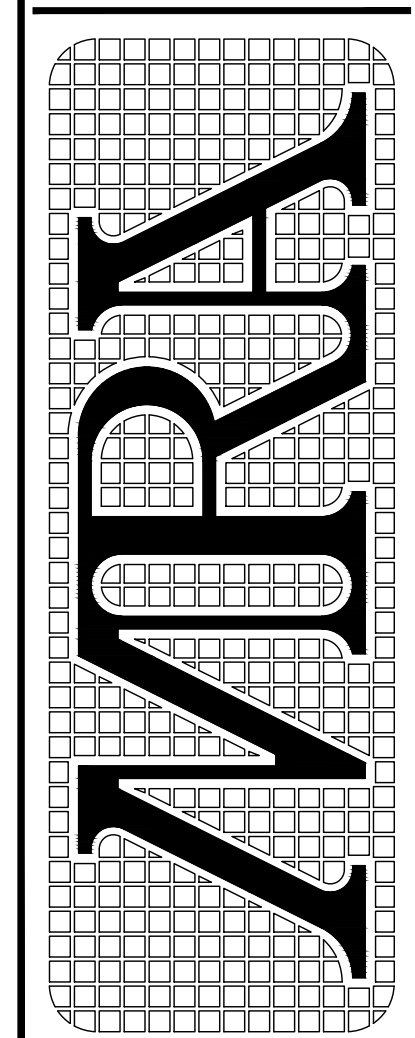
1 2X6 CORRIDOR WALLS IN MAIN MILL
3/4" x 1'-0"



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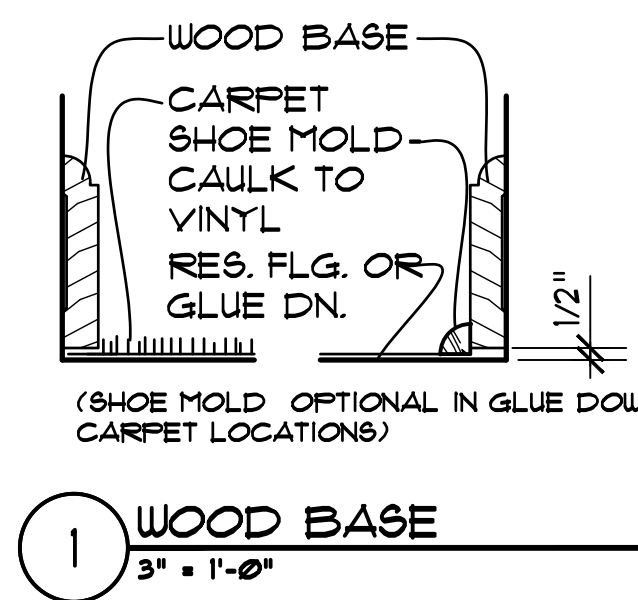


MAIN MILL UNIT FINISH SCHEDULE-1ST FLOOR@ CONCRETE

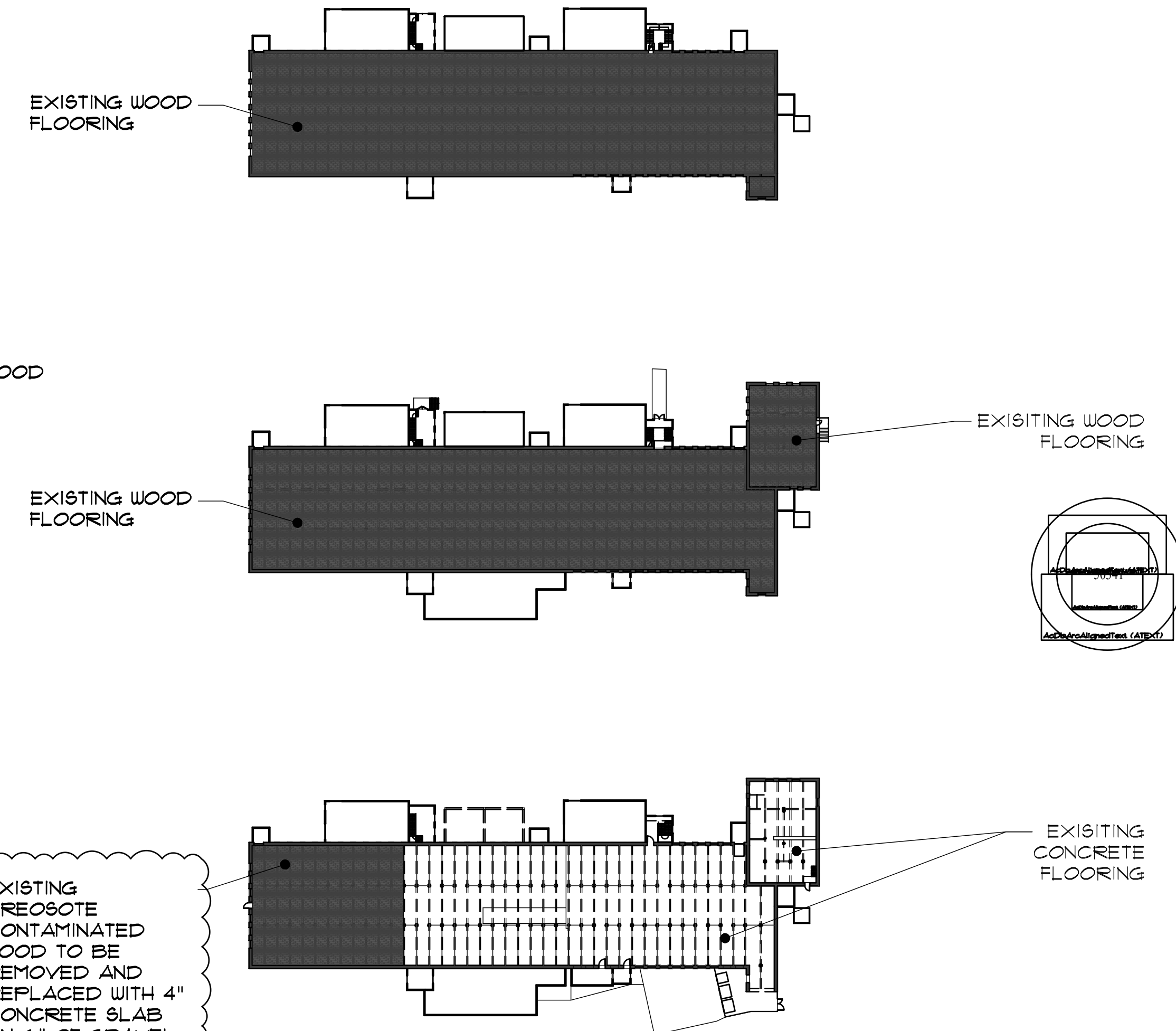
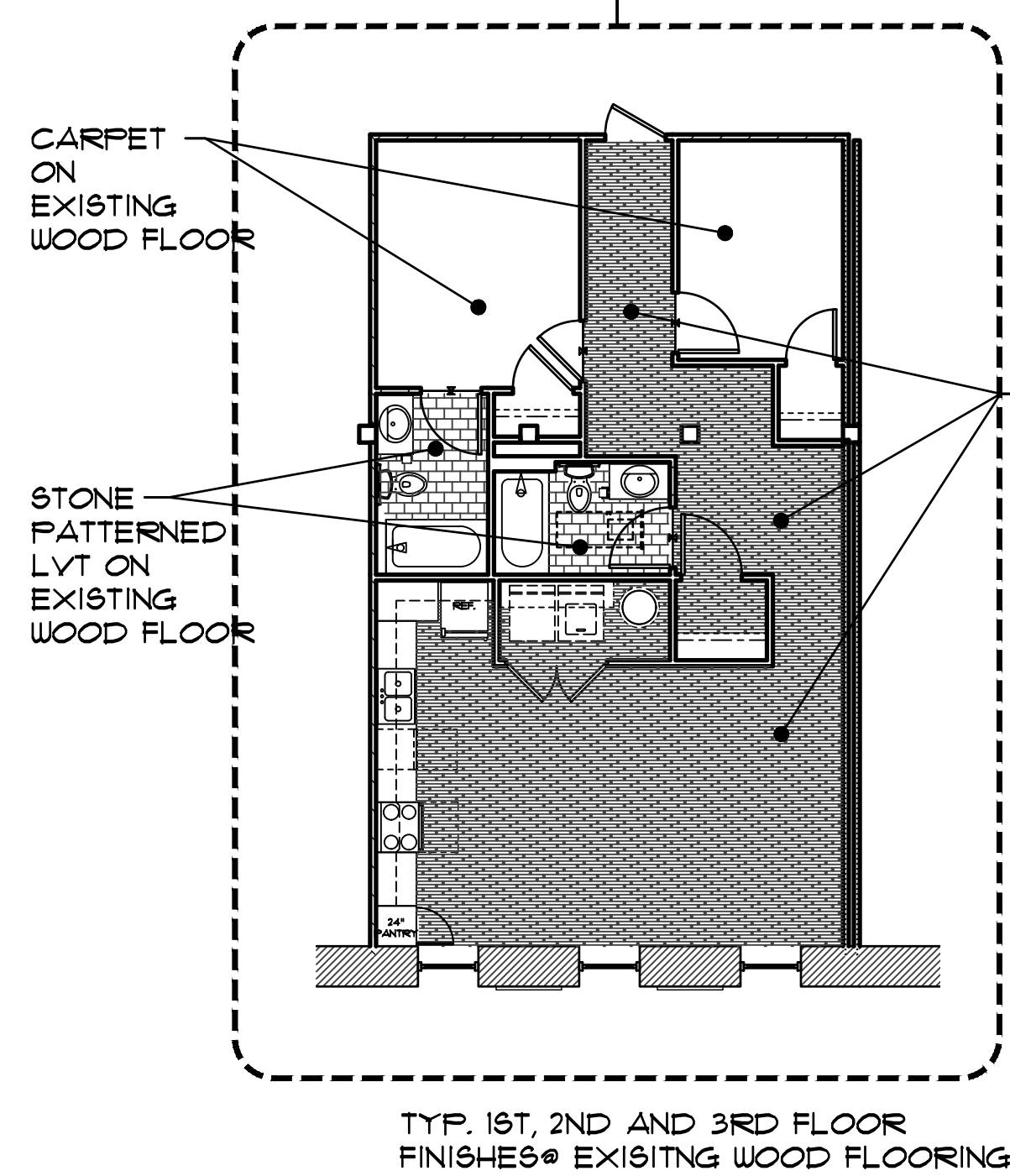
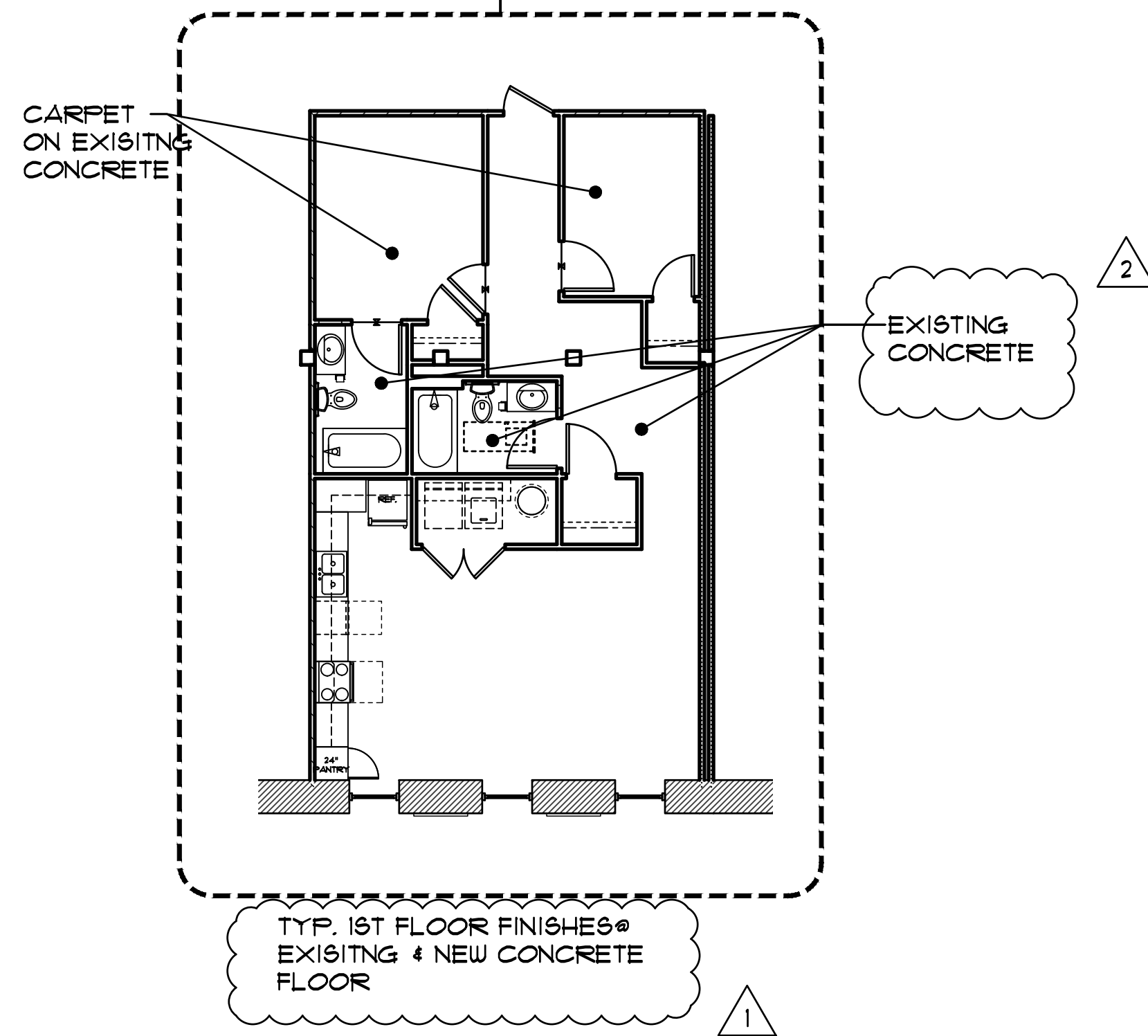
SPACE NAME	BASE	FLOOR FINISH	WALL FINISH **	CLG. FINISH	CLG. HT.
LIVING	WOOD	CONCRETE	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"
DINING ROOM	WOOD	CONCRETE	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"
KITCHEN	WOOD	CONCRETE	PAINT SM.GL.	FLAT SMOOTH	15'-11",11'-11"
HALLWAY	WOOD	CONCRETE	PAINT FLAT	FLAT SMOOTH	8'-0"
MECH./LAUN.	WOOD	CONCRETE	PAINT FLAT	FLAT SMOOTH	9'-0"
BATH	WOOD	CONCRETE	PAINT SM.GL.	FLAT SMOOTH	9'-0"
BEDROOM	WOOD	CARPET*	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"
ENTRY	WOOD	LVT	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"

MAIN MILL UNIT FINISH SCHEDULE-1ST, 2ND AND 3RD FLOOR

SPACE NAME	BASE	FLOOR FINISH	WALL FINISH **	CLG. FINISH	CLG. HT.
LIVING	WOOD	EXISTING WOOD FLR	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"
DINING ROOM	WOOD	EXISTING WOOD FLR	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"
KITCHEN	WOOD	EXISTING WOOD FLR	PAINT SM.GL.	FLAT SMOOTH	15'-11",11'-11"
HALLWAY	WOOD	EXISTING WOOD FLR	PAINT FLAT	FLAT SMOOTH	8'-0"
MECH./LAUN.	WOOD	EXISTING WOOD FLR	PAINT FLAT	FLAT SMOOTH	9'-0"
BATH	WOOD	LVT	PAINT SM.GL.	FLAT SMOOTH	9'-0"
BEDROOM	WOOD	CARPET*	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"
ENTRY	WOOD	EXISTING WOOD FLR	PAINT FLAT	FLAT SMOOTH	15'-11",11'-11"

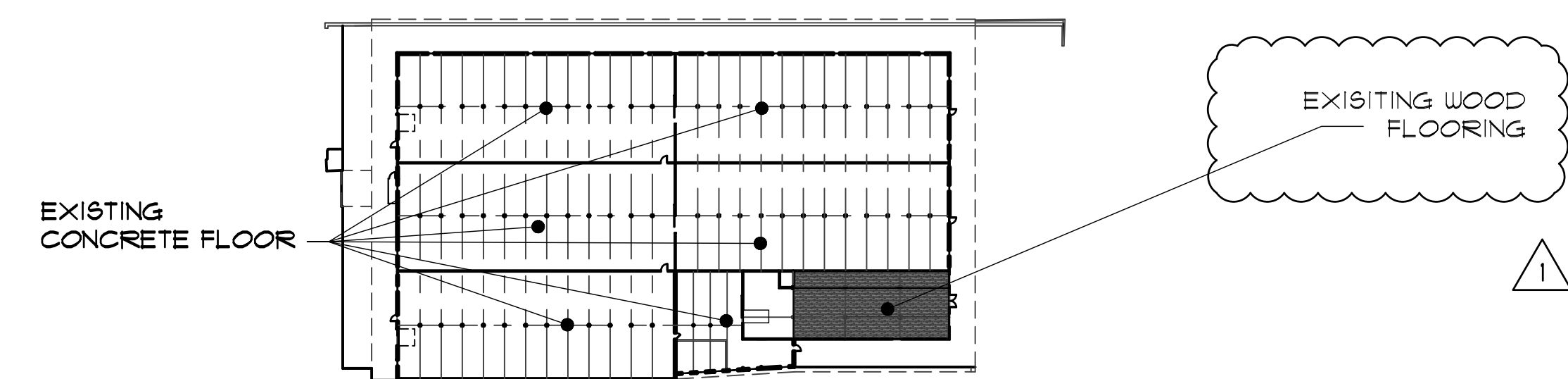
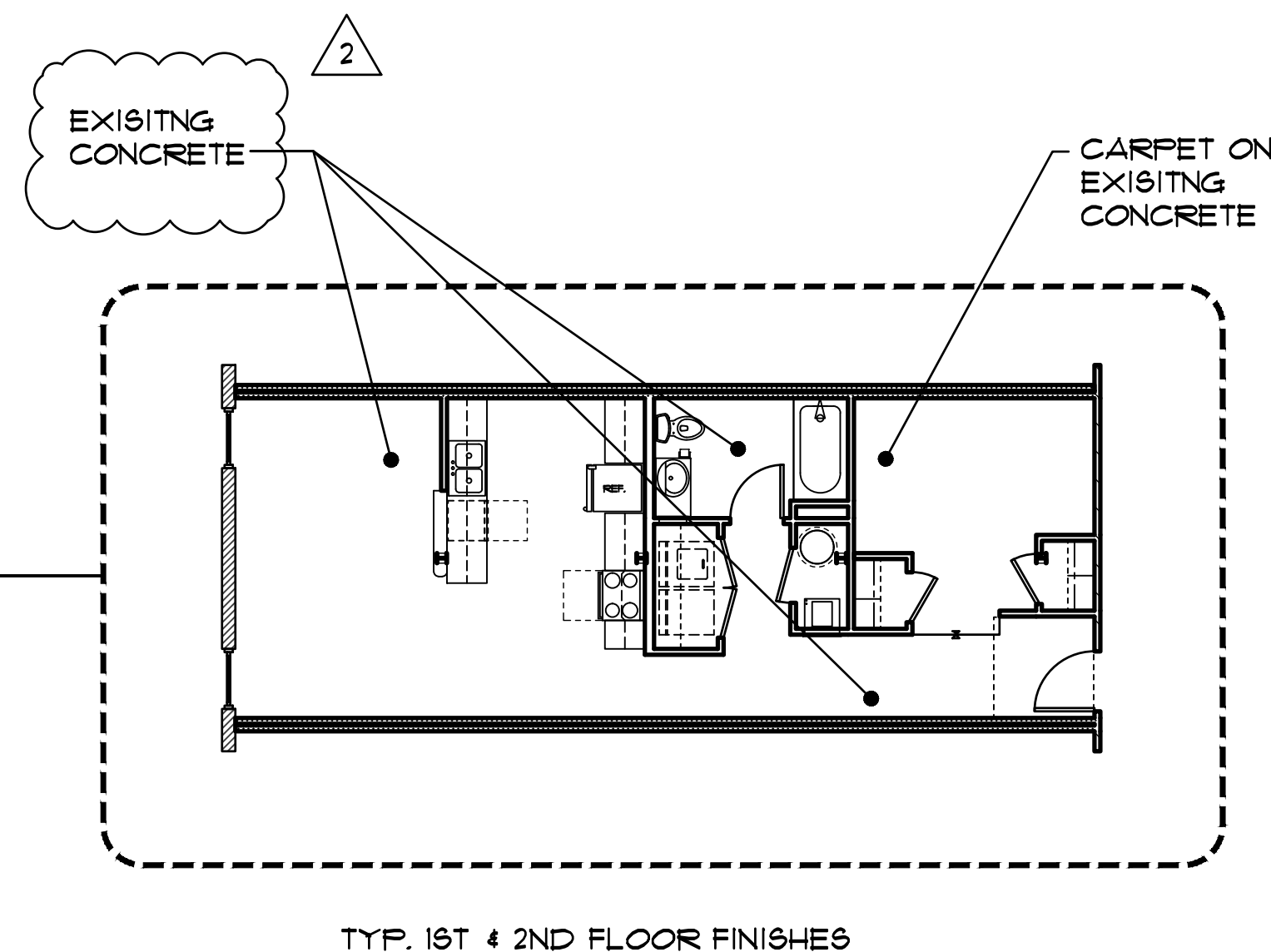


NOTE:
ALL FLOORS TO HAVE A FINISH MATERIAL UNLESS IT IS SPECIFICALLY NOTED OTHERWISE.
* CARPET IN TYPE (a) UNIT MUST BE GLUE DOWN TYPE WITHOUT PAD
** PROVIDE MOISTURE RESISTANCE BOARD IN ALL BATHROOMS, LAUNDRY ROOMS, MECHANICAL ROOMS, EXTERIOR STORAGE ROOMS AND AT KITCHEN SINK WALL.

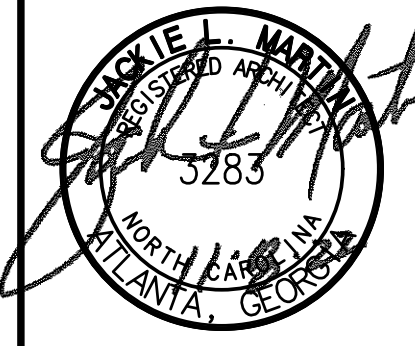


WEST WAREHOUSE UNIT FINISH SCHEDULE

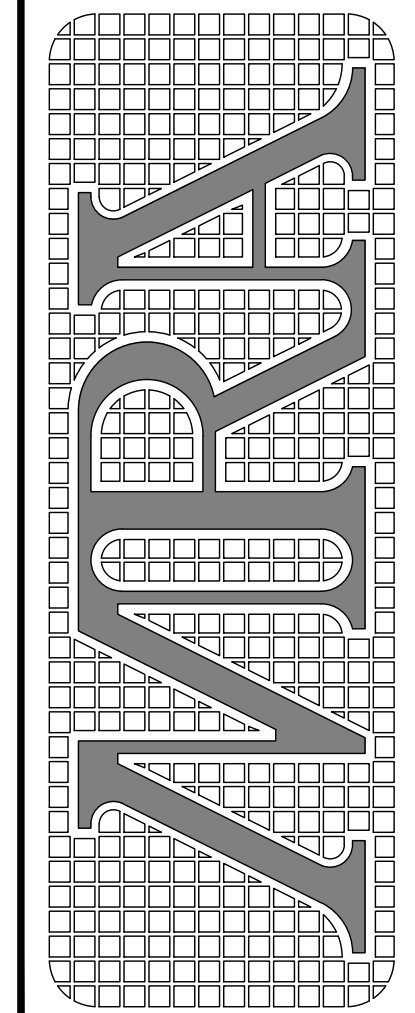
SPACE NAME	BASE	FLOOR FINISH	WALL FINISH **	CLG. FINISH	CLG. HT.
LIVING	WOOD	LVT***	PAINT FLAT	FLAT SMOOTH	8'-0", 9'-0"
DINING ROOM	WOOD	LVT***	PAINT FLAT	FLAT SMOOTH	8'-0", 9'-0"
KITCHEN	WOOD	LVT***	PAINT SM.GL.	FLAT SMOOTH	8'-0", 9'-0"
HALLWAY	WOOD	LVT***	PAINT FLAT	FLAT SMOOTH	8'-0", 9'-0"
MECH./LAUN.	WOOD	LVT***	PAINT FLAT	FLAT SMOOTH	8'-0", 9'-0"
BATH	WOOD	LVT***	PAINT SM.GL.	FLAT SMOOTH	8'-0", 9'-0"
BEDROOM	WOOD	CARPET*	PAINT FLAT	FLAT SMOOTH	8'-0", 9'-0"
ENTRY	WOOD	LVT***	PAINT FLAT	FLAT SMOOTH	8'-0", 9'-0"



NOTE:
ALL FLOORS TO HAVE A FINISH MATERIAL UNLESS IT IS SPECIFICALLY NOTED OTHERWISE.
* CARPET IN TYPE (a) UNIT MUST BE GLUE DOWN TYPE WITHOUT PAD
** PROVIDE MOISTURE RESISTANCE BOARD IN ALL BATHROOMS, LAUNDRY ROOMS, MECHANICAL ROOMS, EXTERIOR STORAGE ROOMS AND AT KITCHEN SINK WALL.
*** 1ST FLOOR IS EXISTING CONCRETE

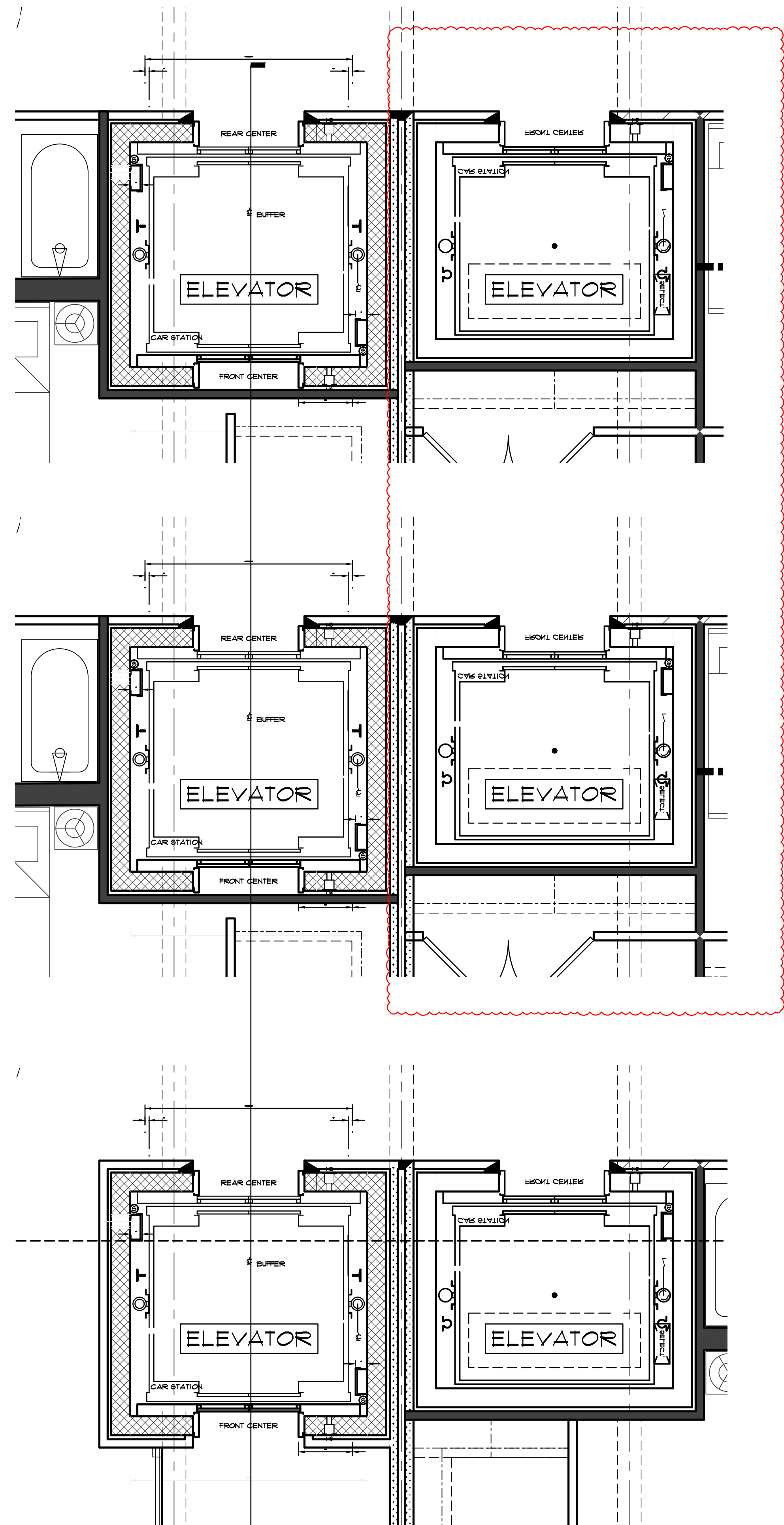


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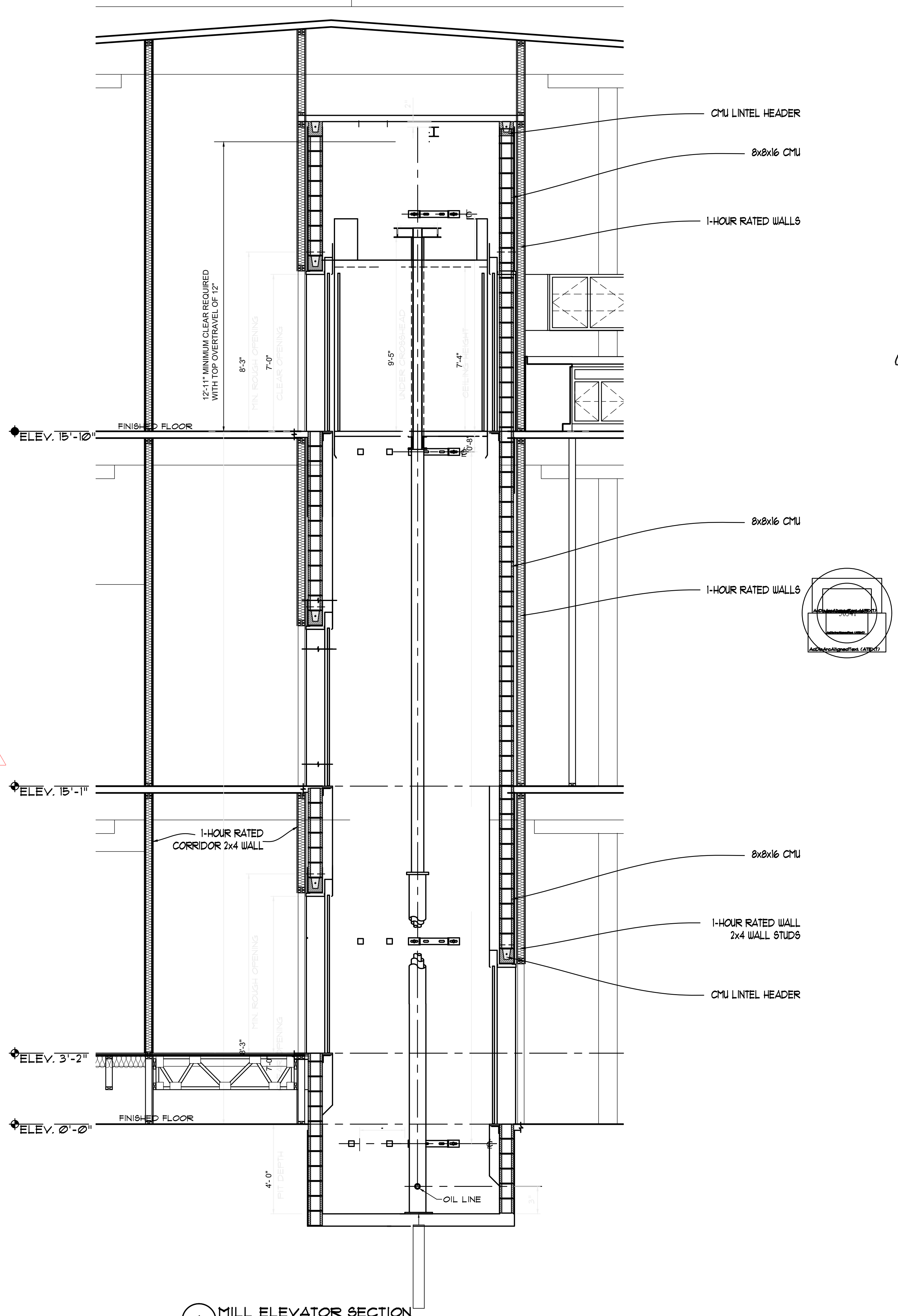


A0.03

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2 MILL ELEVATOR PLANS
3/8"=1'-0"

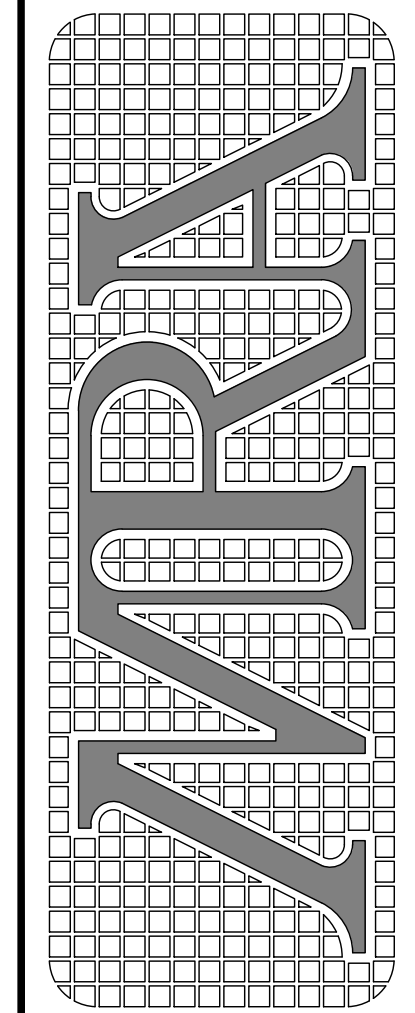


1 MILL ELEVATOR SECTION
3/8"=1'-0"

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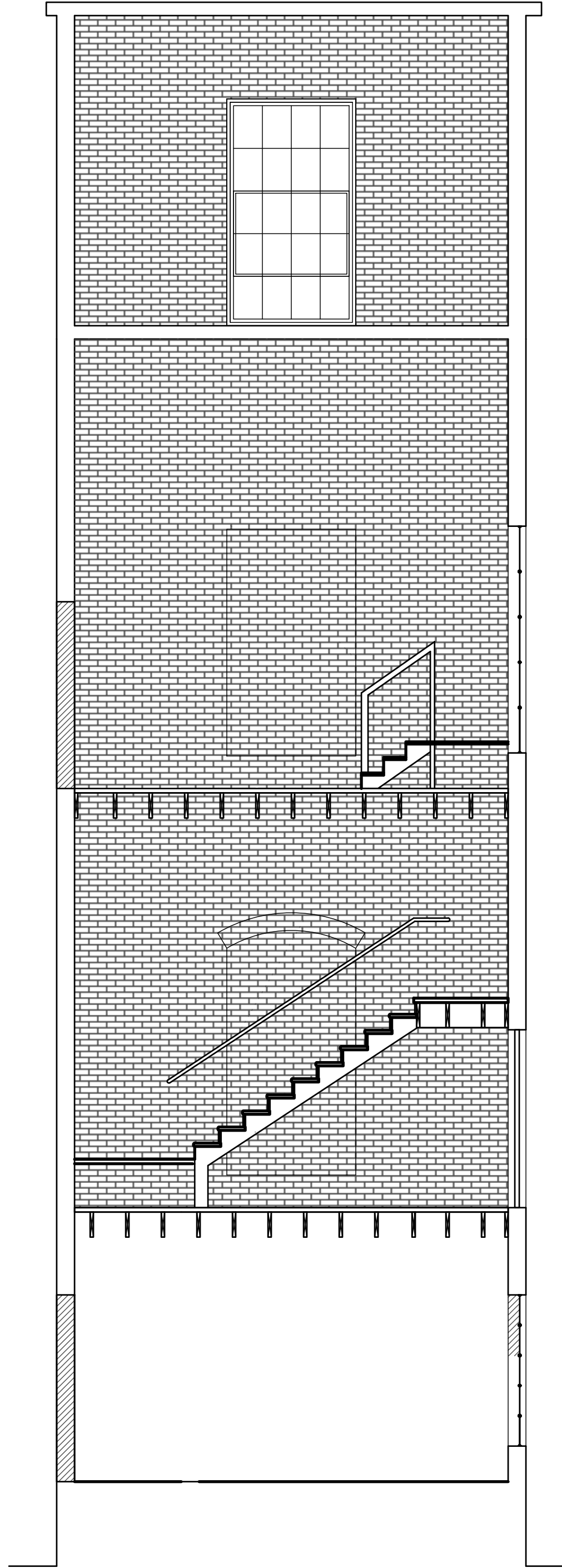
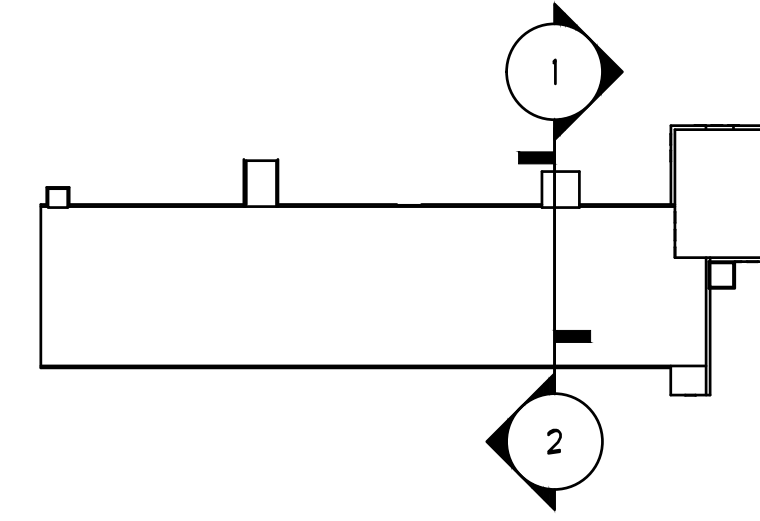
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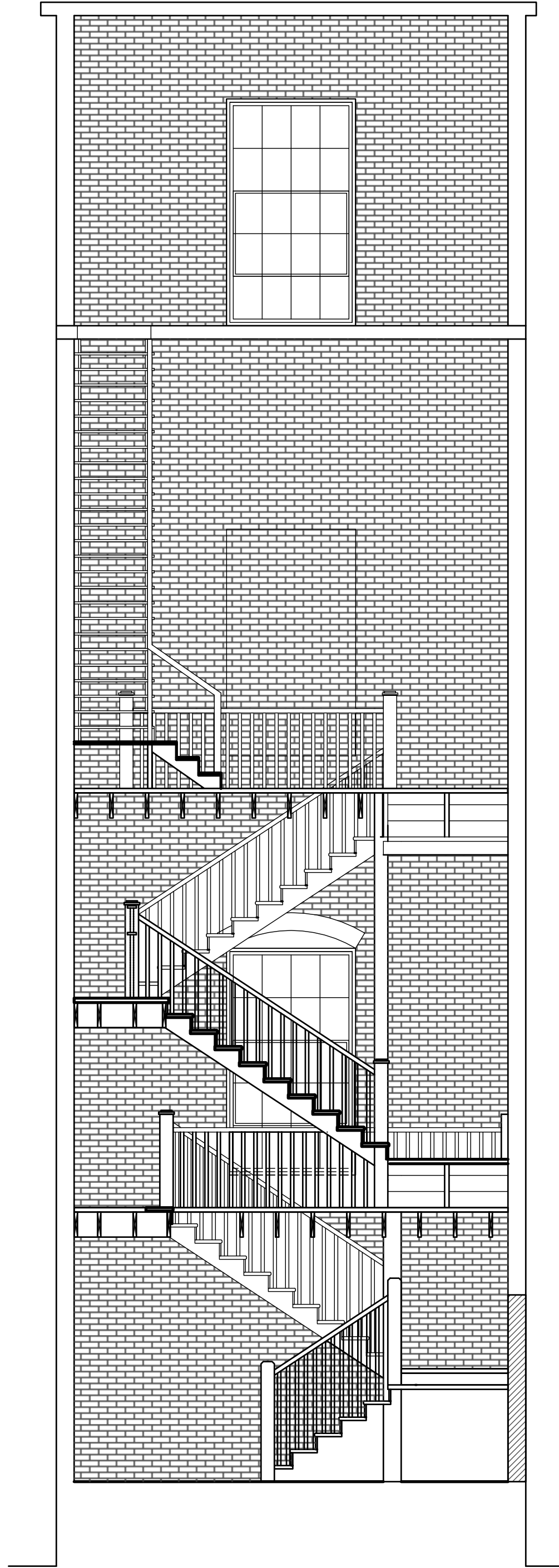
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PRESERVATION OF EXISTING STAIRS:

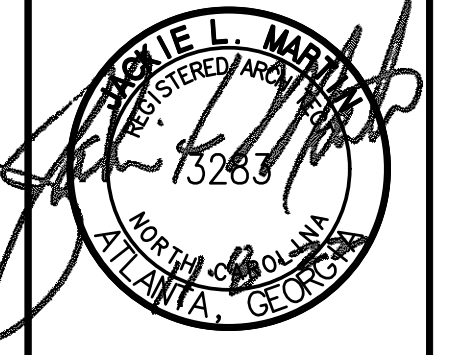
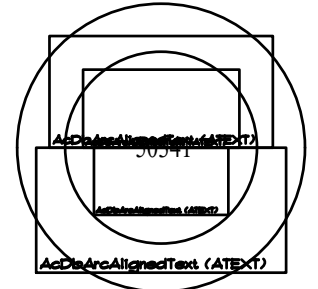
1. RESTORE EXISTING ITEMS TO ORIGINAL CONDITION THAT REMAIN INTACT SUCH AS TRIMS, PLASTER CEILINGS, WOOD FLOORINGS, WALL MATERIALS, CEILINGS, AND OTHER ITEMS NOT NOTED.
2. REPAIR DAMAGE TO EXISTING SURFACES DURING INSTALLATION AND CONSTRUCTION.
3. TAKE PICTURES BEFORE THE START OF WORK, AND AFTER INSTALLATION OF NEW WORK, SEND ONE DIGITAL COPY TO OWNER AND ARCHITECT WITH DESCRIPTION OF LOCATION AND WORK.
4. WHEN COMPLETING WALL DEMOLITION PATCH, FINISH AS NECESSARY TO MATCH ADJACENT WALLS.
5. GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE THE START OF WORK, AND IS RESPONSIBLE FOR VERIFICATION OF ALL DEMOLITION CONDITIONS INCLUDING FINISHES AND MATERIALS AS NOTED IN THESE DRAWINGS AND THE SCOPE OF WORK. FIELD VERIFY PRIOR TO BIDDING. ANY AMBIGUOUS ITEMS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.
6. WHERE AN EXISTING FINISH SURFACE IS TO REMAIN, REPAIR AND PATCH ALL LOCATIONS ASSOCIATED WITH DEMOLITION AND REMOVAL OF ADJACENT FINISHES, FRAMING, FASTENERS, ETC.
7. PROTECT ALL MATERIALS, DOORS/FRAMES, AND FINISHES THAT ARE TO REMAIN AT COMPLETION.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY MEASURES REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AFTER ANY DEMOLITION WHICH RENDERS ANY PART OF THE BUILDING STRUCTURALLY UNSTABLE.
9. NO DEMOLITION SHALL OCCUR WHICH LEAVES THE BUILDING INTERIOR WITHOUT WEATHER PROTECTION. ALL DEMOLITION OF EXTERIOR SURFACES SHALL BE FOLLOWED IMMEDIATELY BY PROTECTIVE CONSTRUCTION. GENERAL CONTRACTOR SHALL INSURE THAT TEMPORARY PROTECTION FROM WEATHER IS PROVIDED AND INSTALLED AT ALL EXPOSED OPENINGS.
10. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK, MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR. GENERAL CONTRACTOR SHALL IDENTIFY ALL MASONRY DEMOLITION WORK BEFORE THE START OF BIDDING.
11. PATCH EXISTING CONCRETE SURFACES FOR CRACKS, SPALLING, AND CHIPS NOT NOTED ON DOCUMENTS. AREAS SHALL BE PATCHED TO MATCH ADJACENT SURFACE FINISH, TEXTURE, AND COLOR BEFORE BIDDING OR START OF WORK.
12. PREP ALL WALLS, FLOORS, AND CEILINGS FOR NEW FINISH AND PAINTS.
13. REMOVE ALL "RUST AND CORROSION, FROM DOOR, WINDOW, PIPE COLUMNS, LINTELS. CLEAN, PRIME, AND REPAINT ANY STEEL LINTELS.
14. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK, MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR.



2 MILL EXISTING NORTH SIDE EAST STAIR TO REMAIN SECTION
1/4"=1'-0"

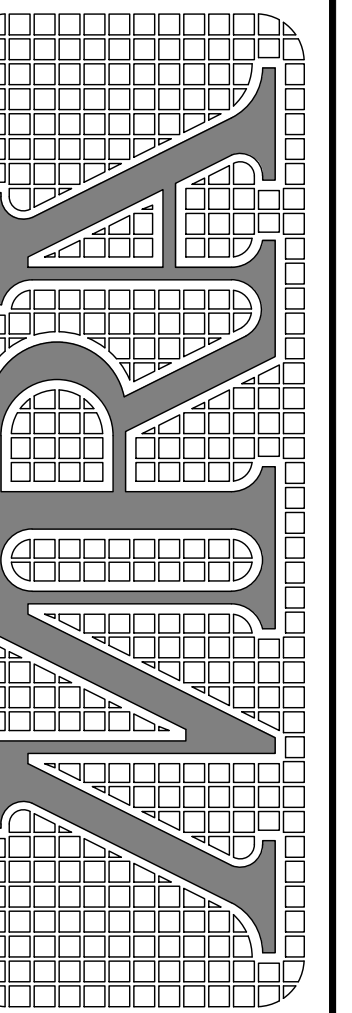


1 MILL EXISTING NORTH SIDE EAST STAIR TO REMAIN SECTION
1/4"=1'-0"



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A3.06b

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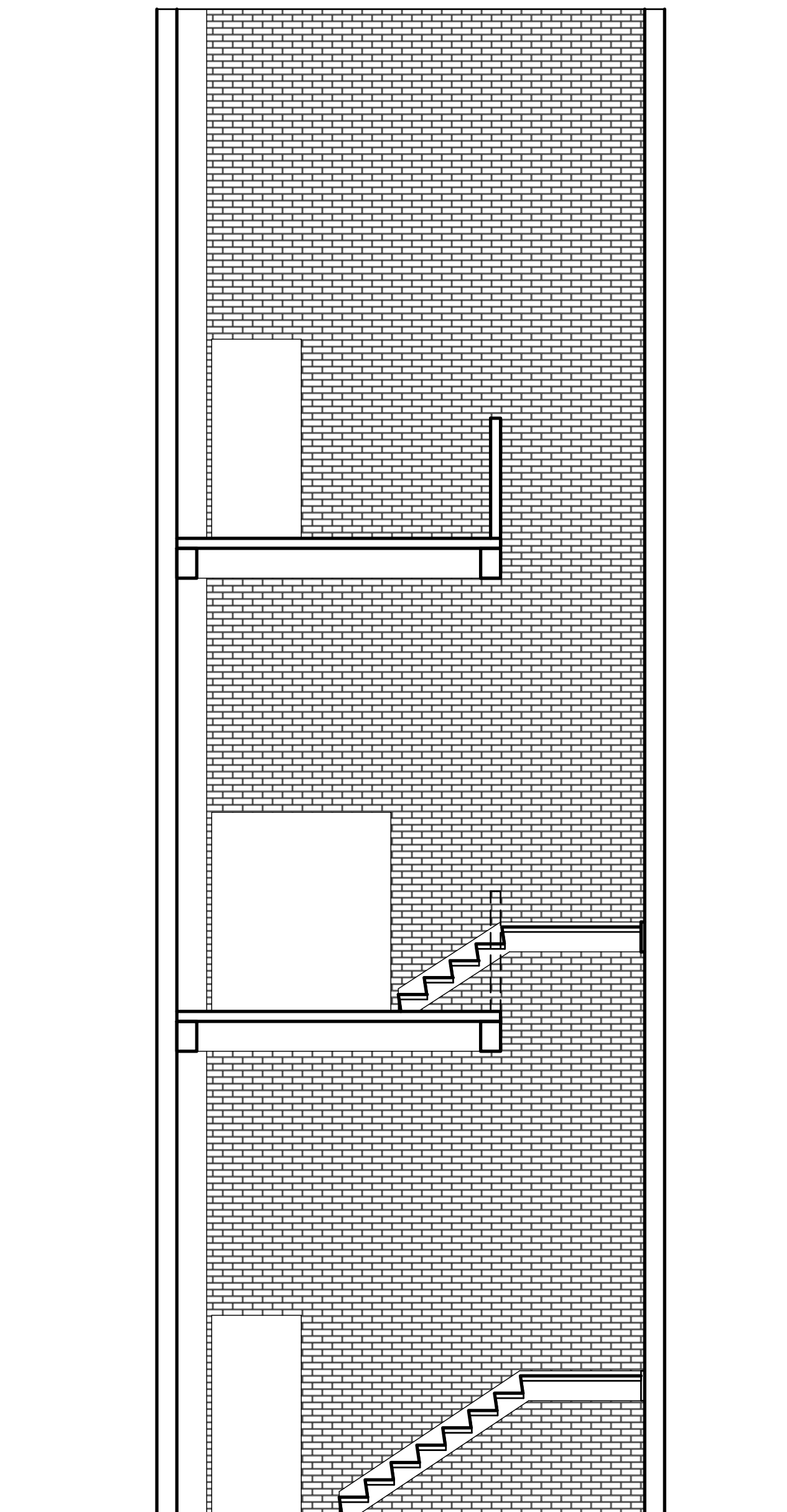
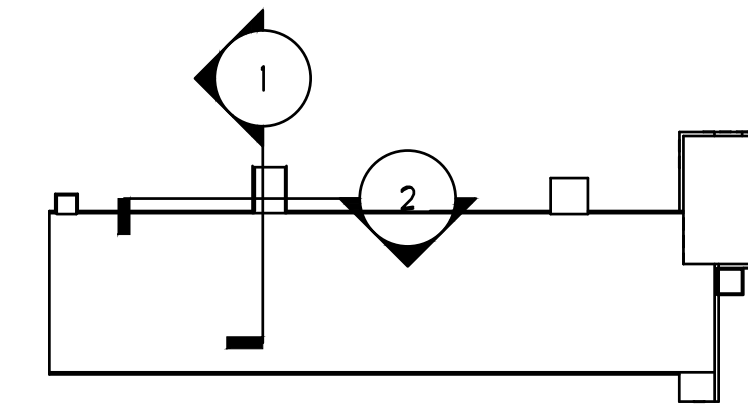
PROJECT
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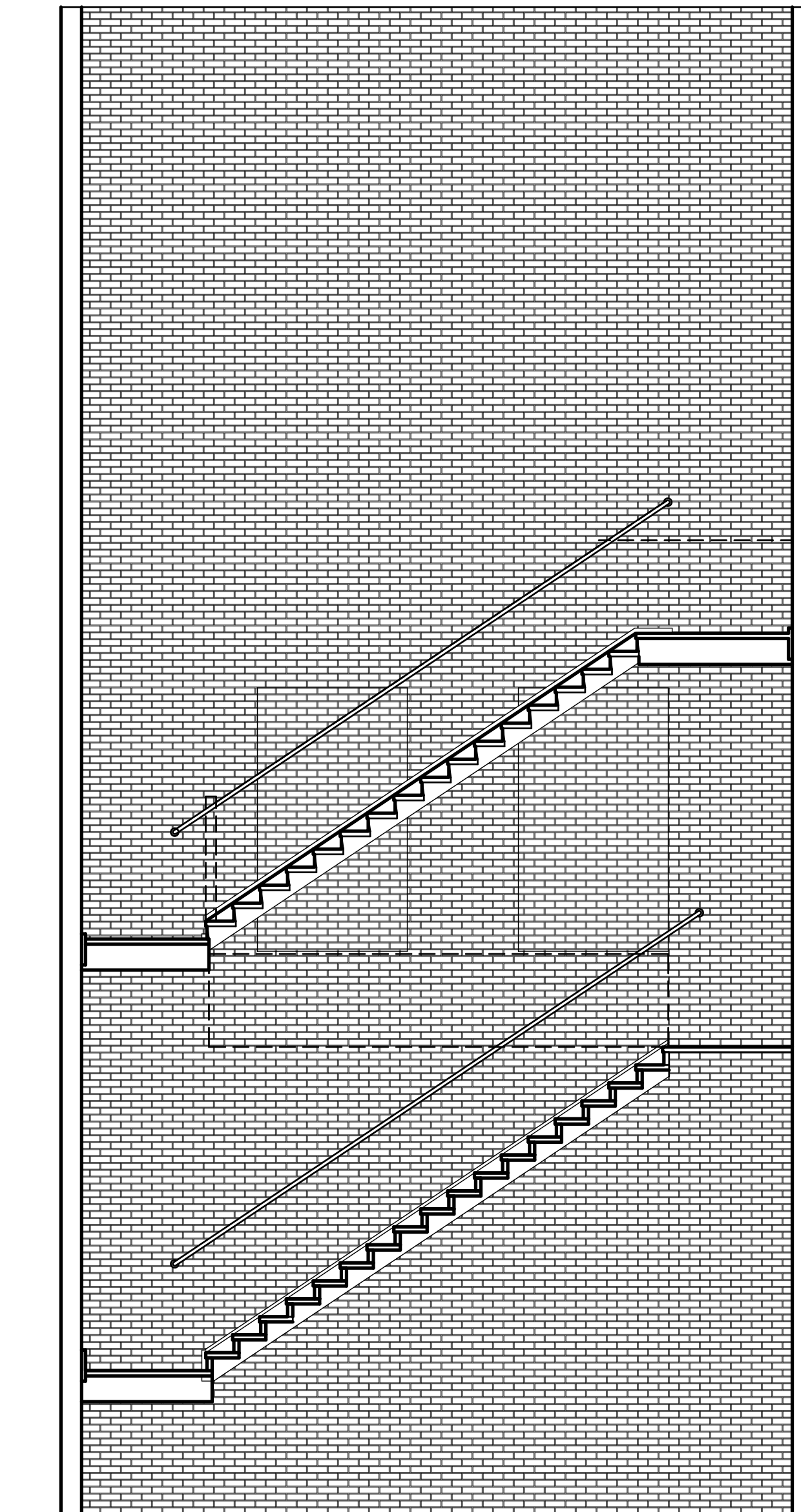
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PRESERVATION OF EXISTING STAIRS INTACT:

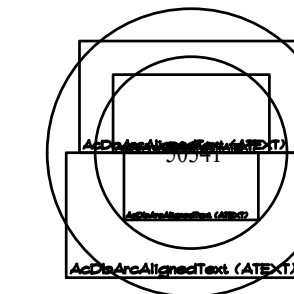
1. RESTORE EXISTING ITEMS TO ORIGINAL CONDITION THAT REMAIN INTACT SUCH AS TRIMS, PLASTER CEILINGS, WOOD FLOORINGS, WALL MATERIALS, CEILINGS, AND OTHER ITEMS NOT NOTED.
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2 MILL EXISTING NORTH SIDE WEST STAIR TO REMAIN SECTION
1/4"=1'-0"

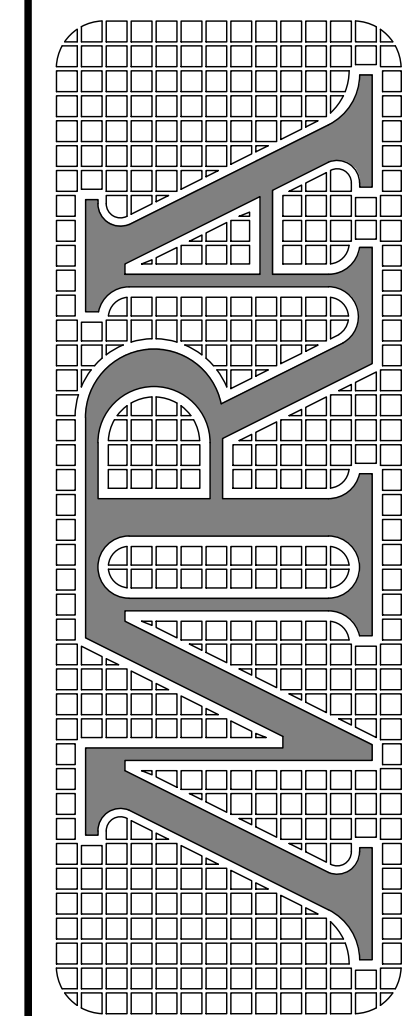


1 MILL EXISTING NORTH SIDE WEST STAIR TO REMAIN SECTION
1/4"=1'-0"



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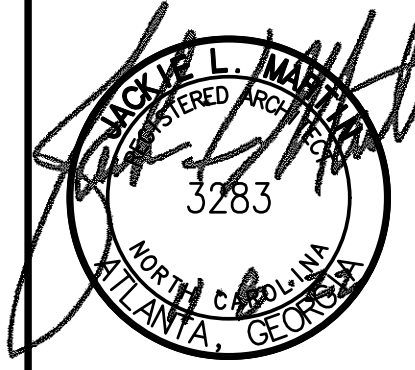
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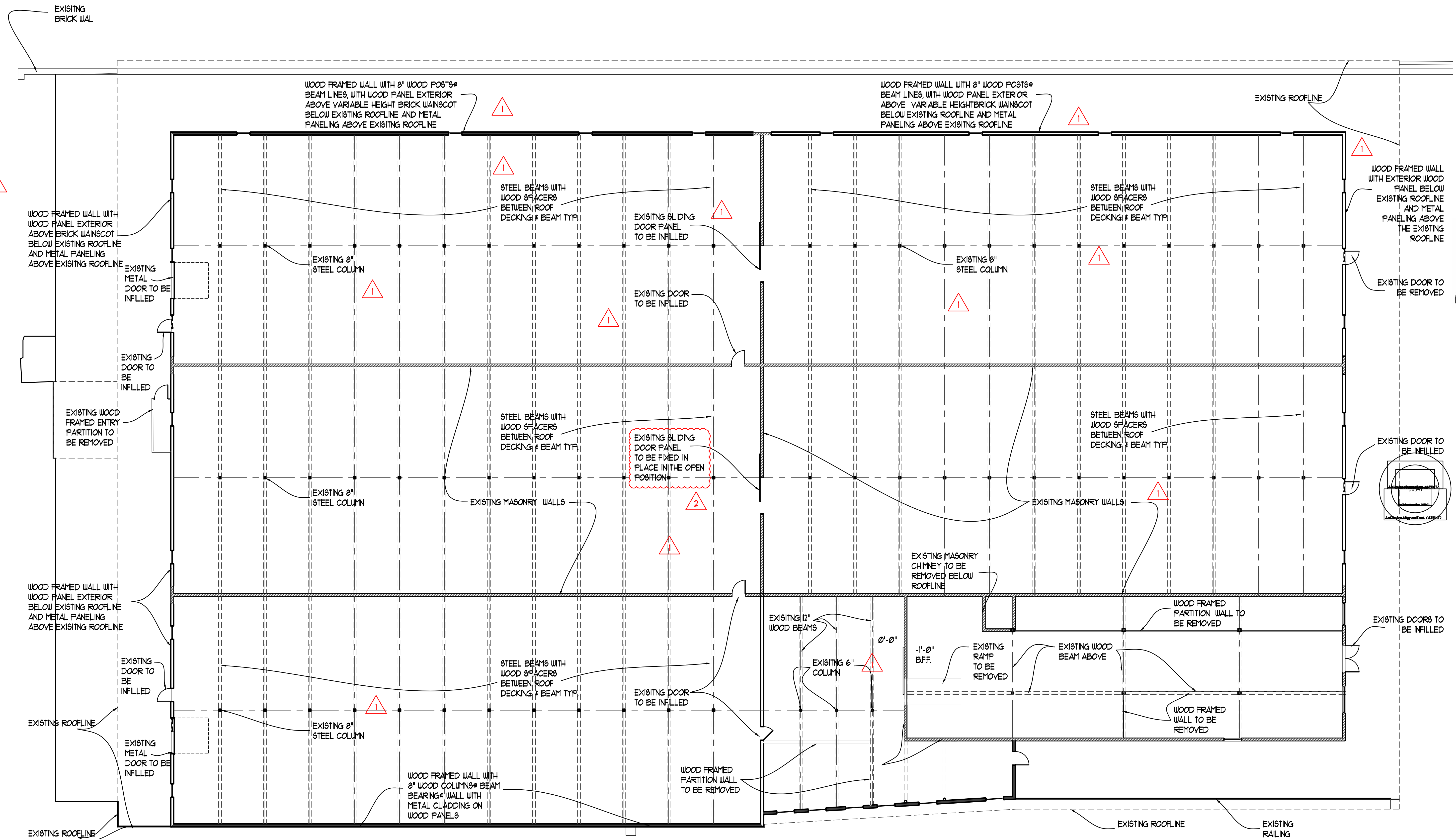
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PROJECT
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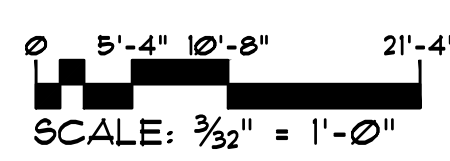
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1 EXISTING WEST WAREHOUSE FLOOR PLAN
3/32" = 1'-0"



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11-8-22

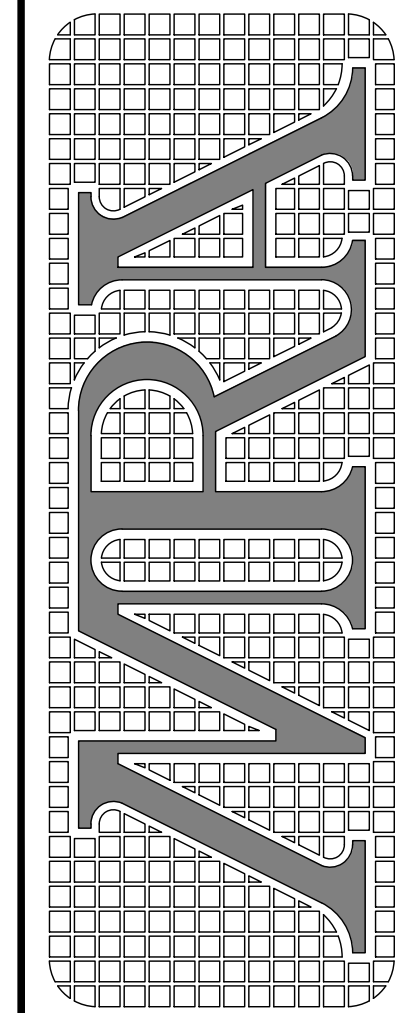
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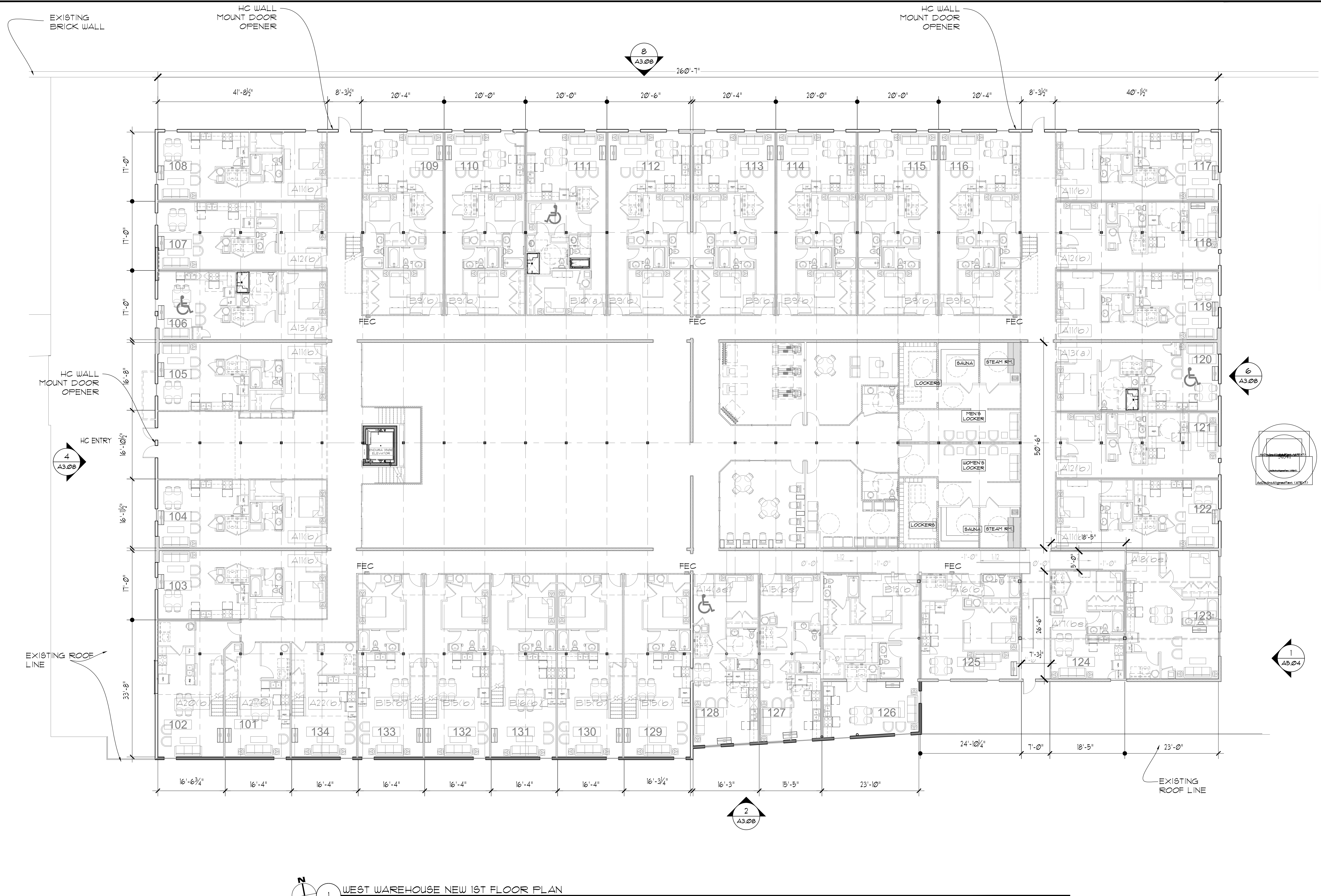
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A1.05

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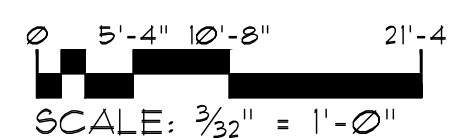
WEST WAREHOUSE NEW 1ST FLOOR PLAN
3/32" = 1'-0"



JL FIRE EXTINGUISHER & CABINET (CORRIDOR 2X4 WALL):
CABINET MODEL No.: FX2 AMBASSADOR 1812 (FIRE RATED)
FIRE EXTINGUISHER MODEL No.: COMIC 6E 6 LBS. 5"Ø 3A-40B:C UL RATING.
RATED WALL-OPENING DIMENSIONS: 12³/₁₆" W, 25⁵/₁₆" H, 2¹/₈" D.
TRIM: 4" ROLLED FLUSH PULL, LOCK OPTIONAL, VERTICAL DECAL.
WWW.ACTIVARCFG.COM

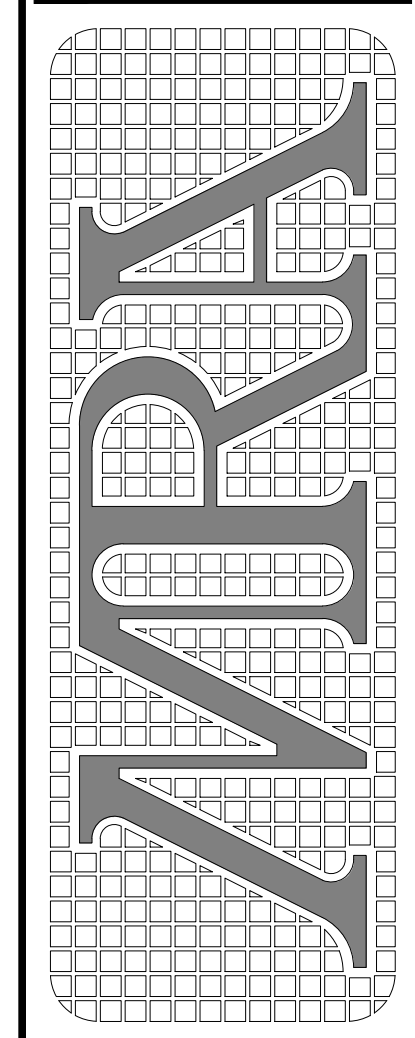


JL FIRE EXTINGUISHER & BRACKET (MAINTENANCE AREA):
FIRE EXTINGUISHER MODEL No.: COMIC 10E 10 LBS. 5¹/₈"Ø 4A-80B:C UL RATING.
MOUNTING BRACKET: MB846C
DIMENSIONS: 1³/₄" W, 21" H.
VERTICAL DECAL: "FIRE EXTINGUISHER" MODEL #256, 4"X12"
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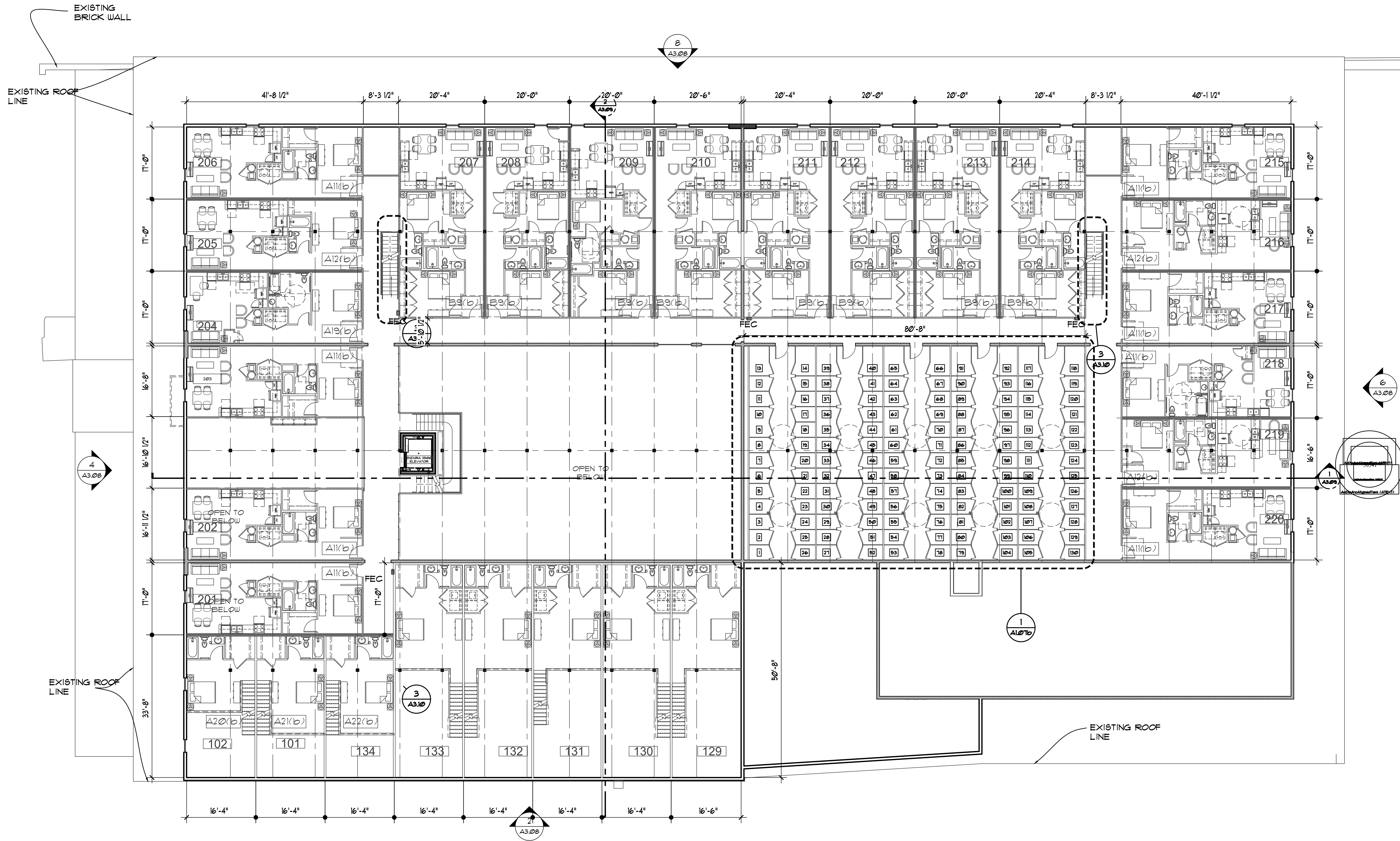
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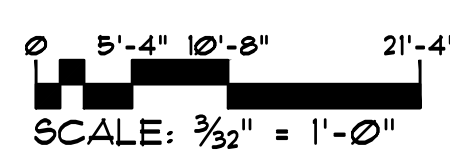
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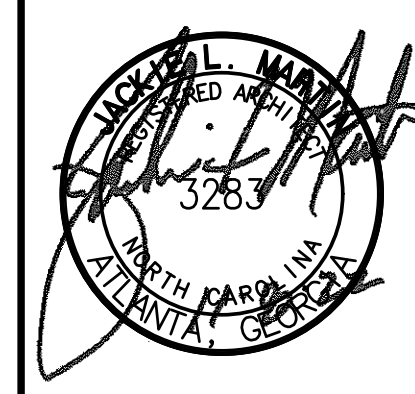



WEST WAREHOUSE NEW 2ND FLOOR PLAN
 3/32" = 1'-0"

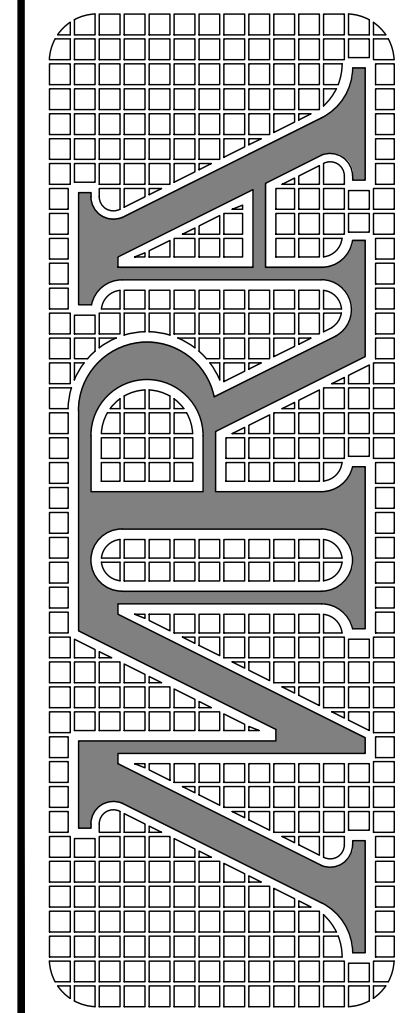
ALL ELEVATION MARKS ARE ESTIMATED V.I.F.



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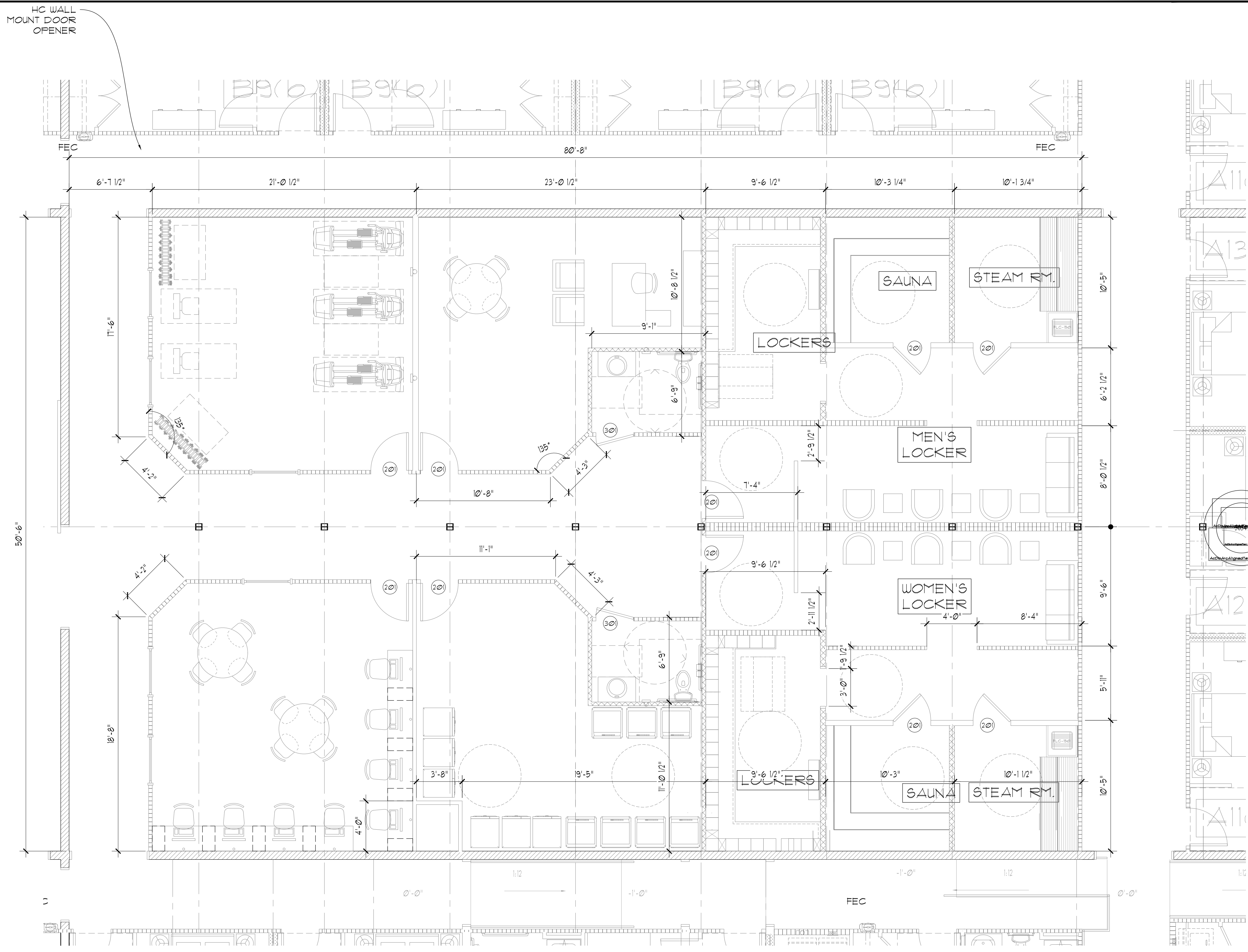


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A1.07b

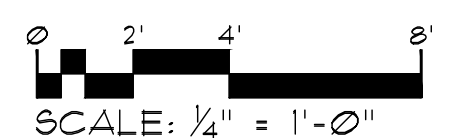
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WEST WAREHOUSE NEW COMMON AREA PLAN
1/4" = 1'-0"

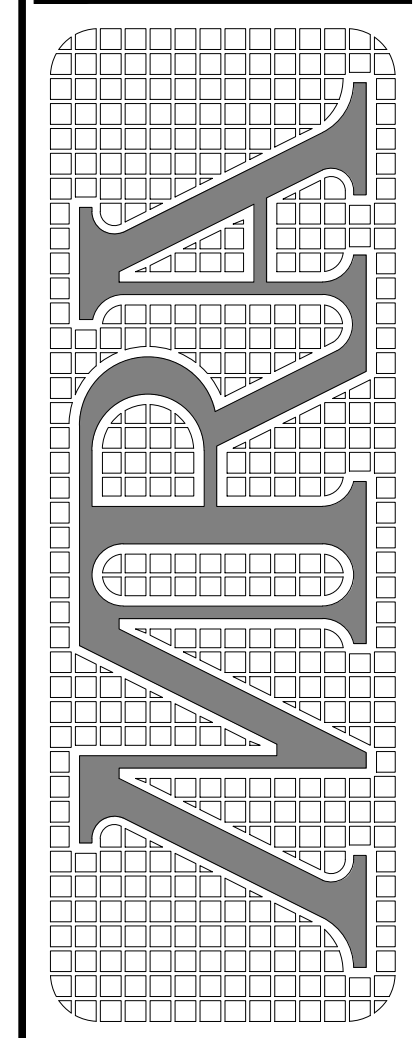
JL FIRE EXTINGUISHER & CABINET (CORRIDOR 2X4 WALL):
CABINET MODEL No.: FX2 AMBASSADOR 1812 (FIRE RATED)
FIRE EXTINGUISHER MODEL No.: COMIC 6E 6 LBS. 5"Ø 3A-40B:C UL RATING.
RATED WALL-OPENING DIMENSIONS: 12³/₁₆" W, 25⁵/₁₆" H, 2¹/₁₆" D.
TRIM: 4" ROLLED, FLUSH PULL, LOCK OPTIONAL, VERTICAL DECAL.
WWW.ACTIVARCFG.COM

JL FIRE EXTINGUISHER & BRACKET (MAINTENANCE AREA):
FIRE EXTINGUISHER MODEL No.: COMIC 10E 10 LBS. 5¹/₈"Ø 4A-80B:C UL RATING.
MOUNTING BRACKET: MB846C
DIMENSIONS: 1³/₄" W, 21" H.
VERTICAL DECAL: "FIRE EXTINGUISHER" MODEL #256, 4"X12"
WWW.ACTIVARCFG.COM



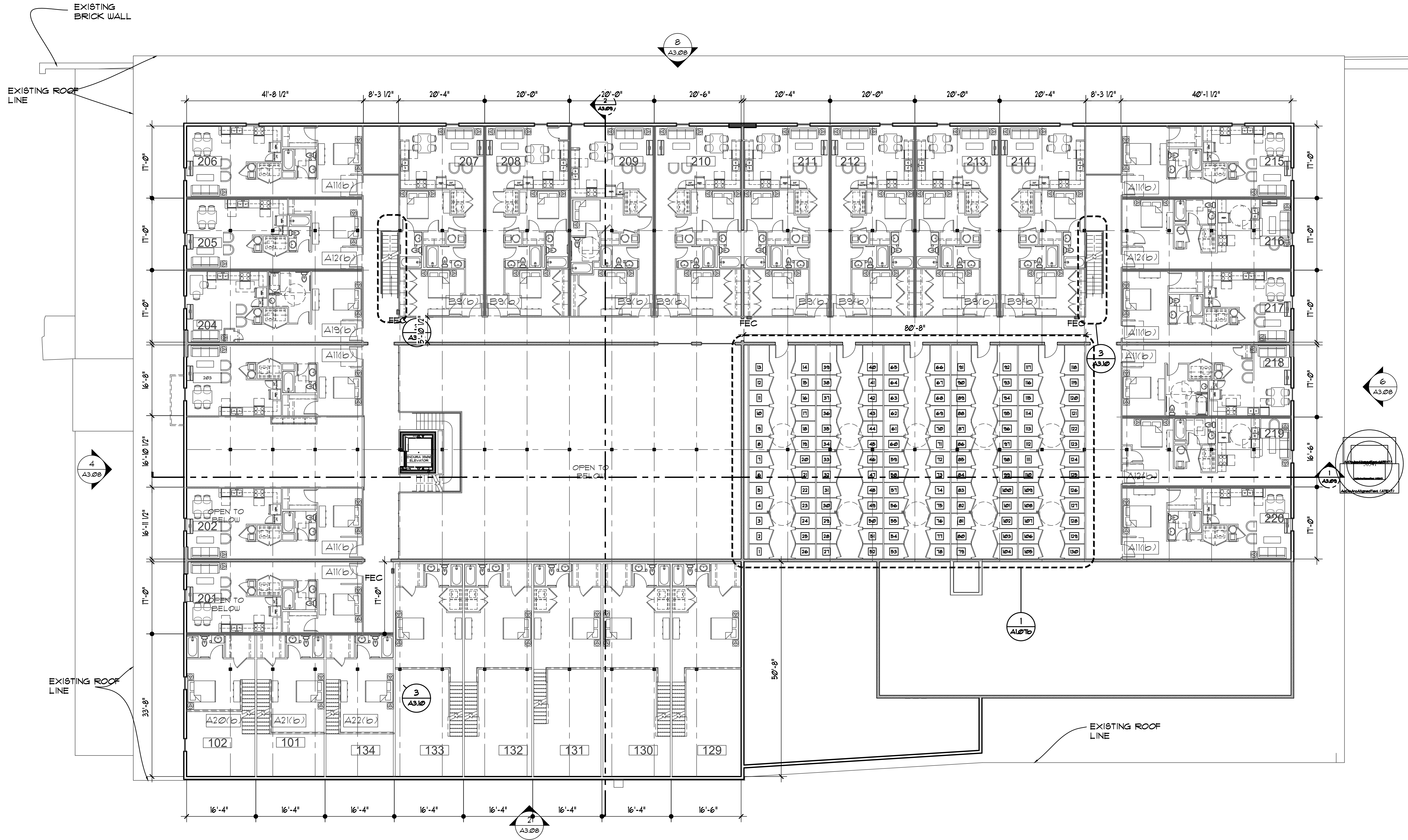
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PROJECT	2018-043
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CONCORD, NC



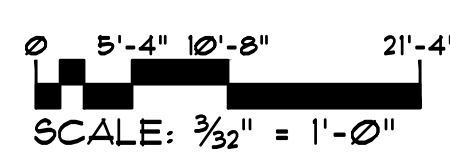
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1 WEST WAREHOUSE NEW 2ND FLOOR PLAN
3/32" = 1'-0"

ALL ELEVATION MARKS ARE ESTIMATED V.I.F.

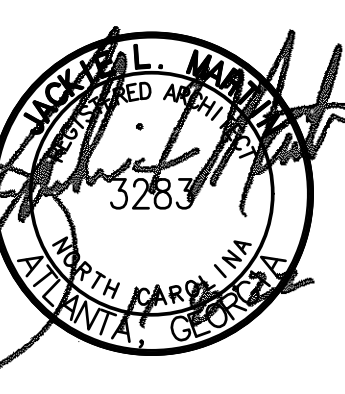


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2018-043

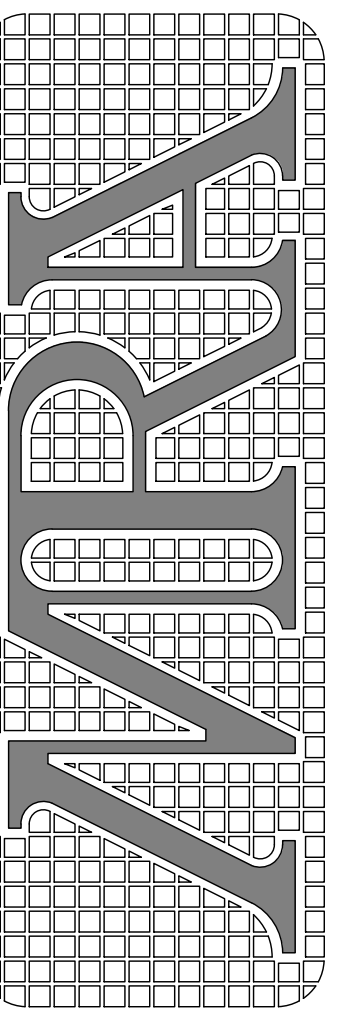
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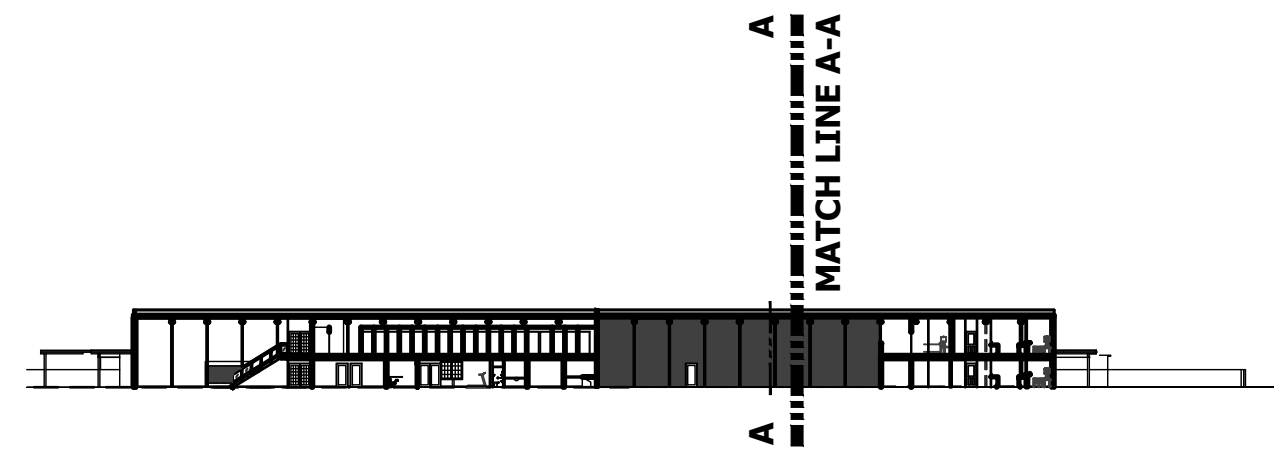


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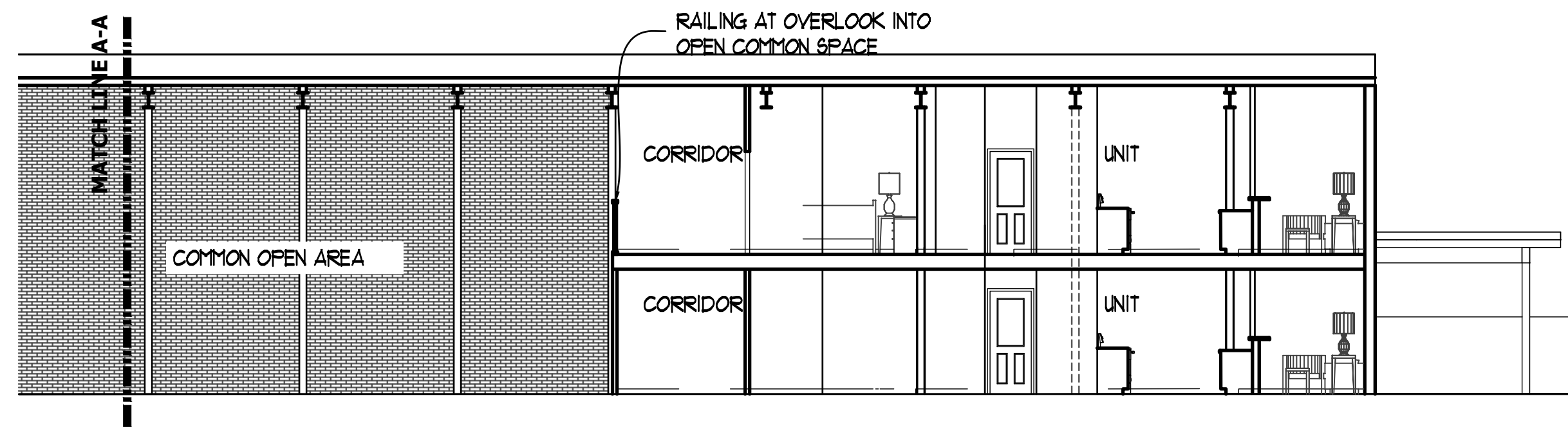
COLEMAN MILL APARTMENTS
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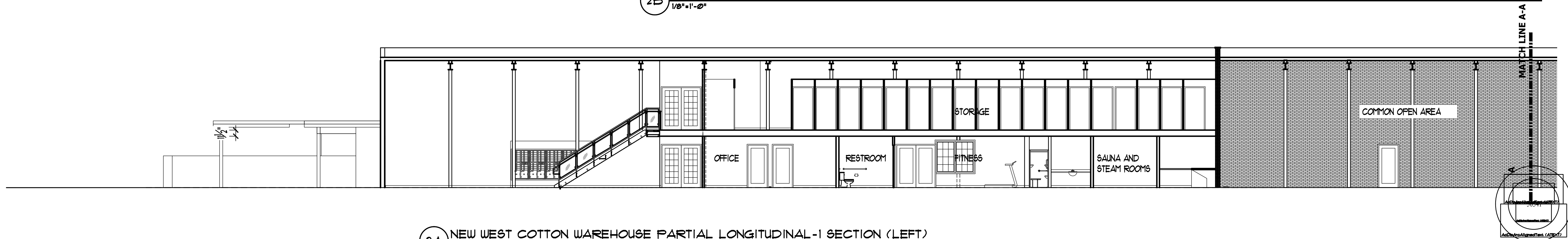
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A KEY MATCH LINE LONGITUDINAL SECTION
N.T.S.

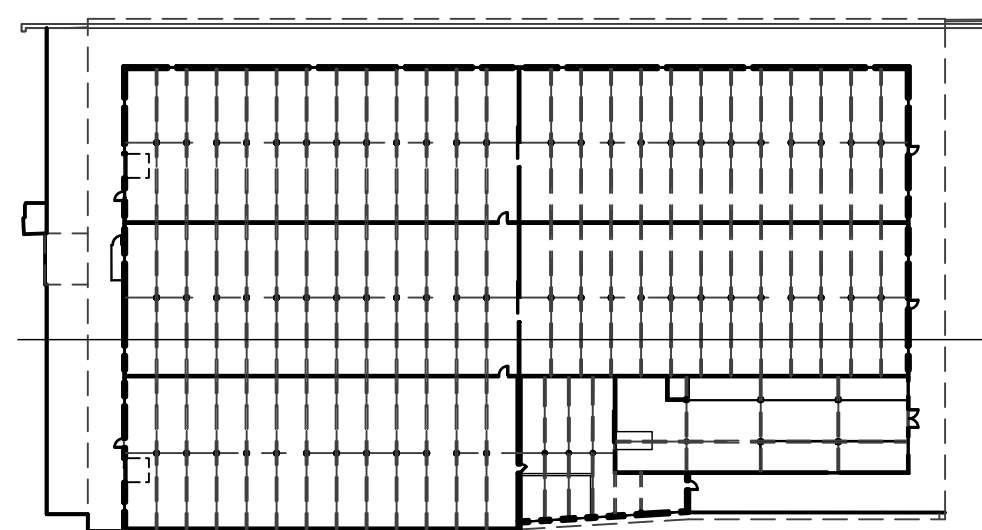


2B NEW WEST COTTON WAREHOUSE PARTIAL LONGITUDINAL-1 SECTION (RIGHT)
1/8"=1'-0"



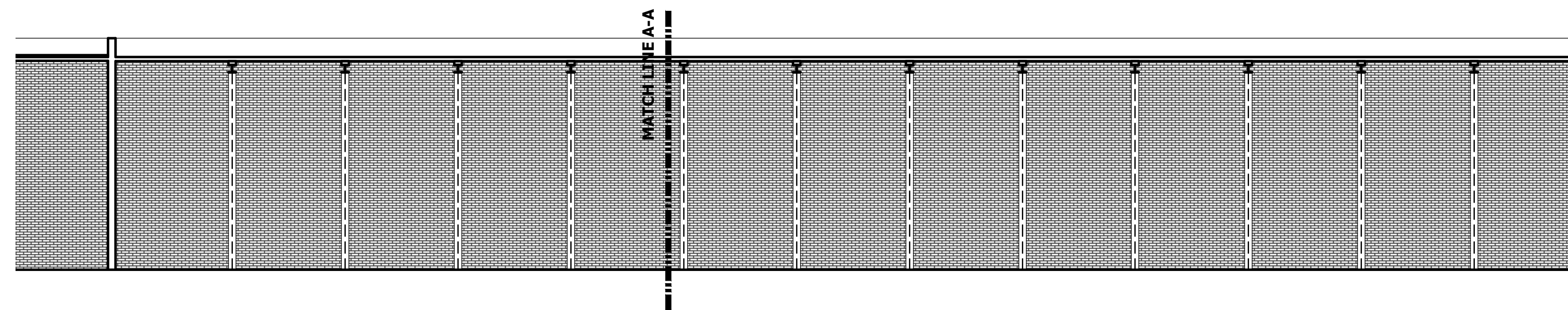
2A NEW WEST COTTON WAREHOUSE PARTIAL LONGITUDINAL-1 SECTION (LEFT)
1/8"=1'-0"

SEE STRUCTURAL DRAWINGS FOR FRAMING

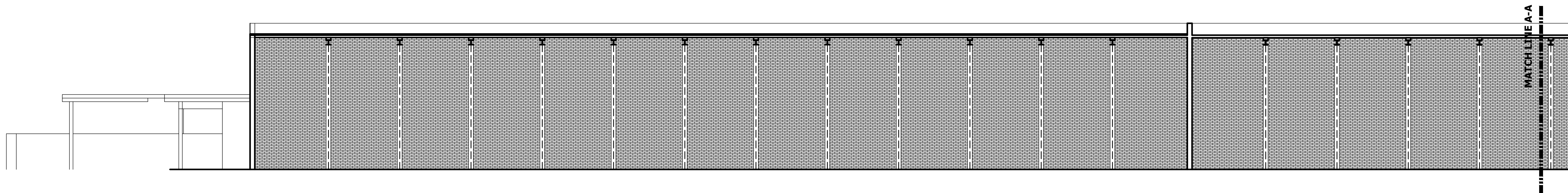


1A, 1B
A3.09

2A, 2B
A3.09

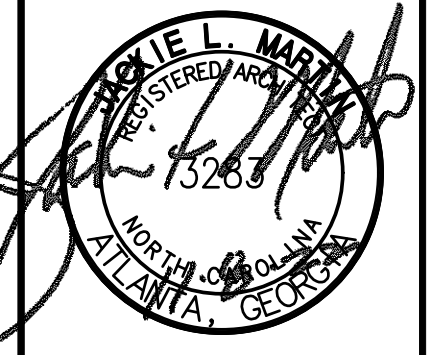


1B EXISTING WEST COTTON WAREHOUSE PARTIAL LONGITUDINAL-1 SECTION (LEFT)
1/8"=1'-0"



1A EXISTING WEST COTTON WAREHOUSE PARTIAL LONGITUDINAL-1 SECTION (LEFT)
1/8"=1'-0"

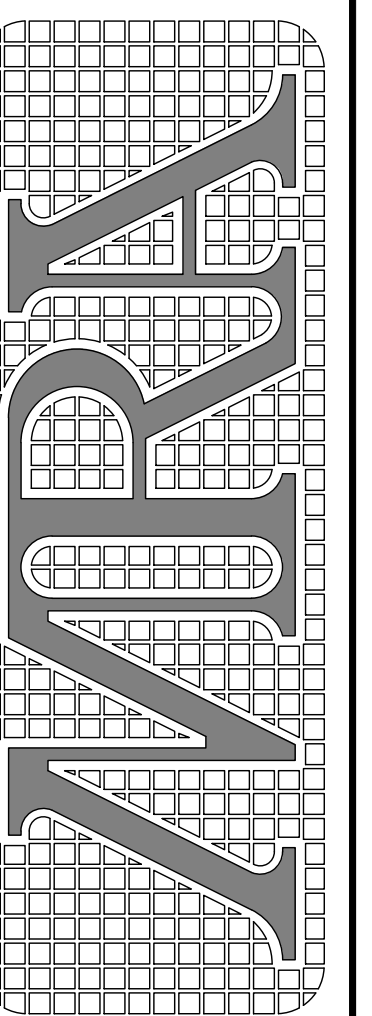
SCALE: 1/8" = 1'-0"



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COLEMAN MILL APARTMENTS
CONCORD, NC

BUILDING SECTIONS



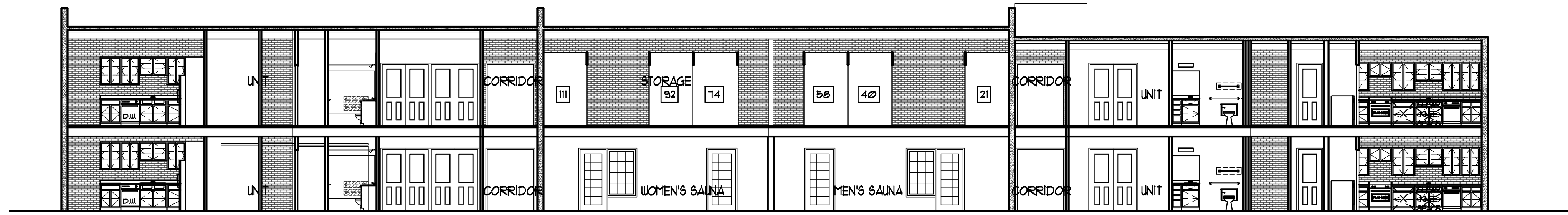
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REVISIONS
9-22-21

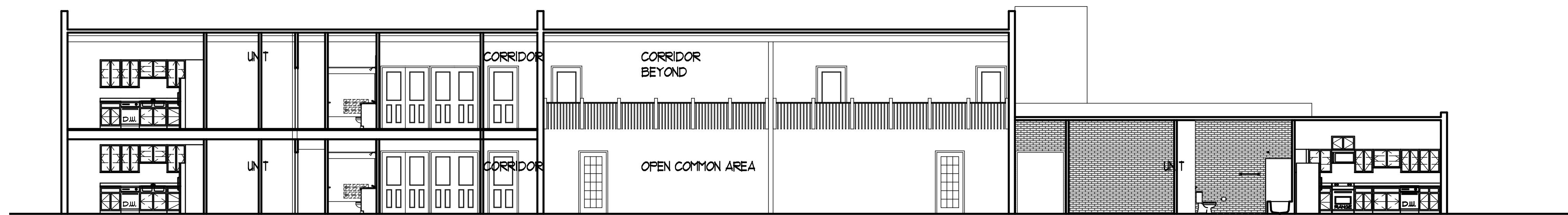
PROJECT
2018-043

DATE
7-14-21

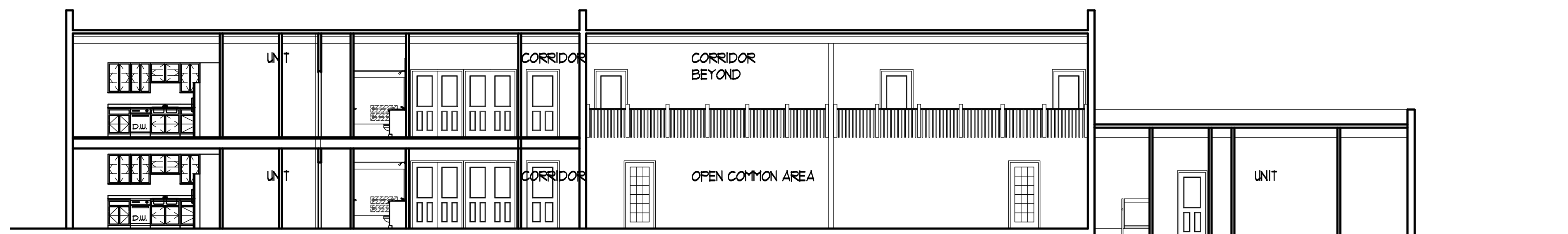
DRAWN BY / CHECKED BY
L.B.G.



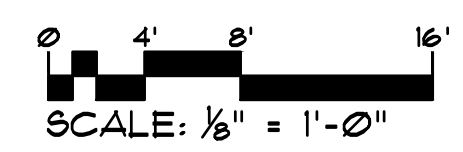
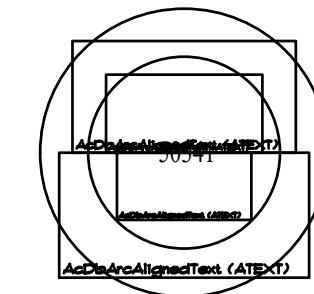
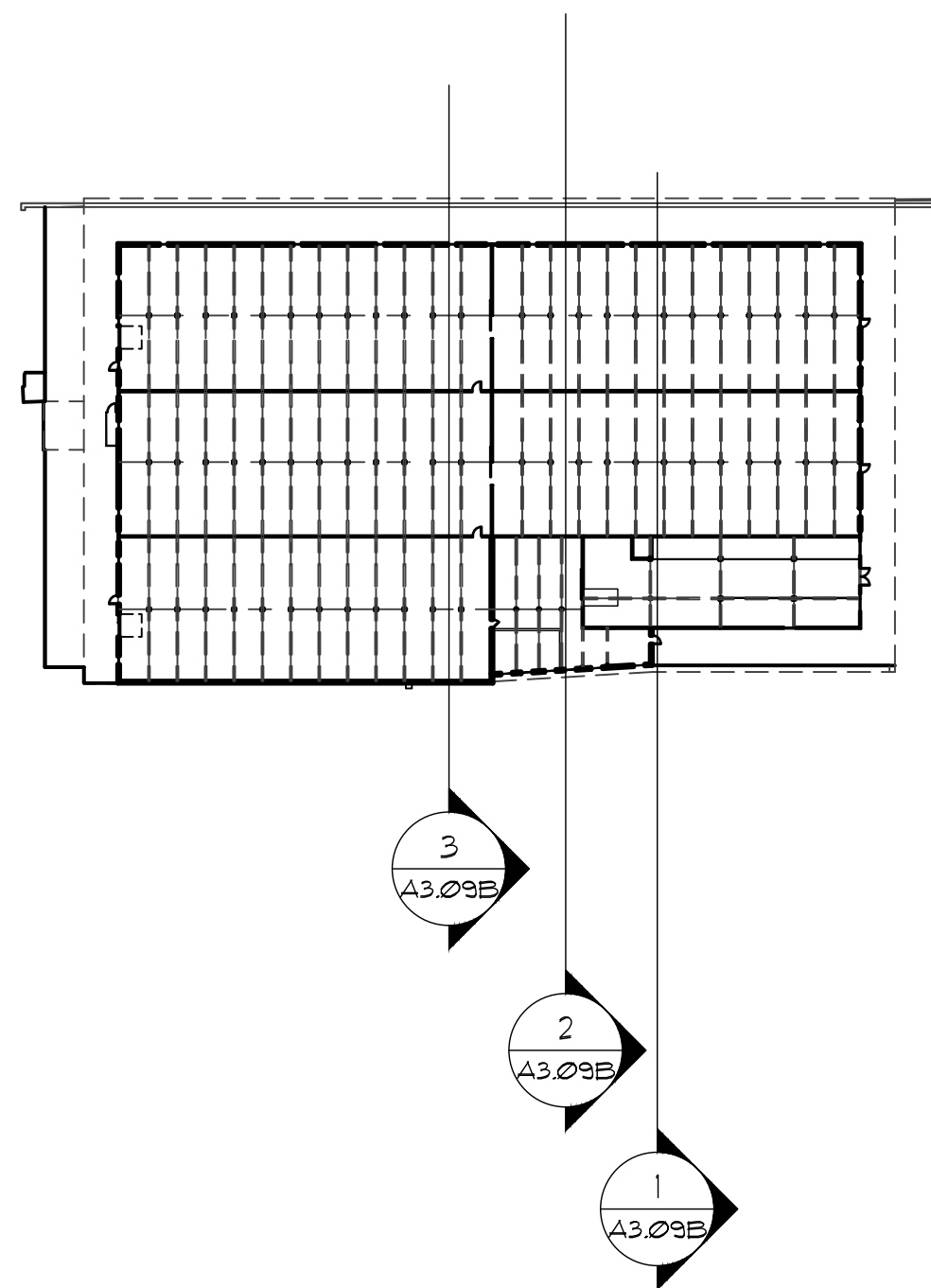
3 NEW WEST COTTON WAREHOUSE PARTIAL TRANSVERSE SECTION
1/8"=1'-0"



2 NEW WEST COTTON WAREHOUSE PARTIAL TRANSVERSE SECTION
1/8"=1'-0"



1 NEW WEST COTTON WAREHOUSE PARTIAL TRANSVERSE SECTION
1/8"=1'-0"



REVISIONS
9-22-21

PROJECT
2018-043

DATE
7-14-21

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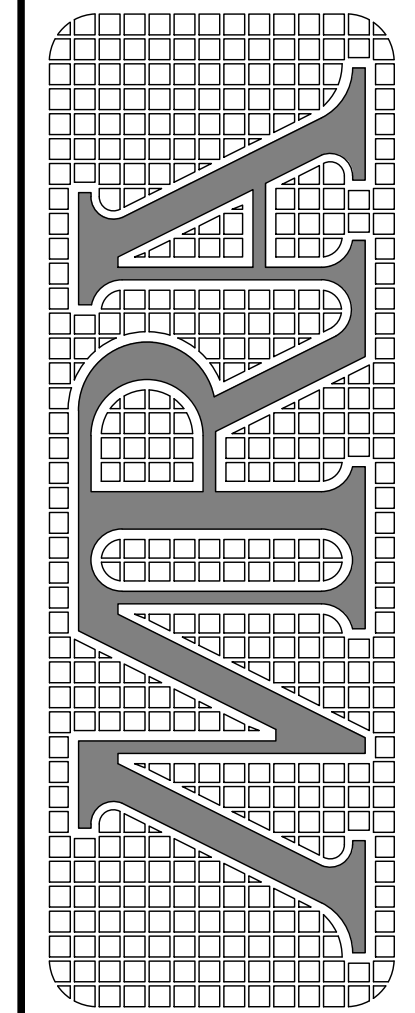
3283

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CONCORD, NC

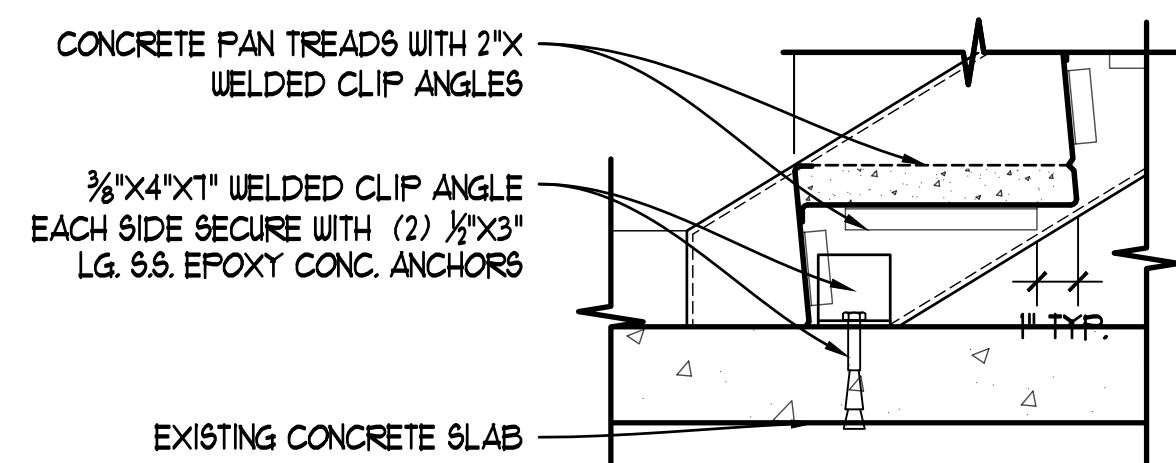
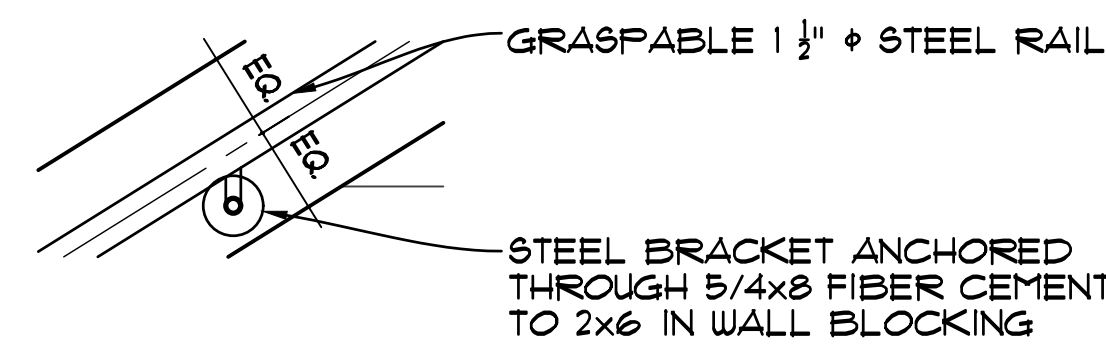
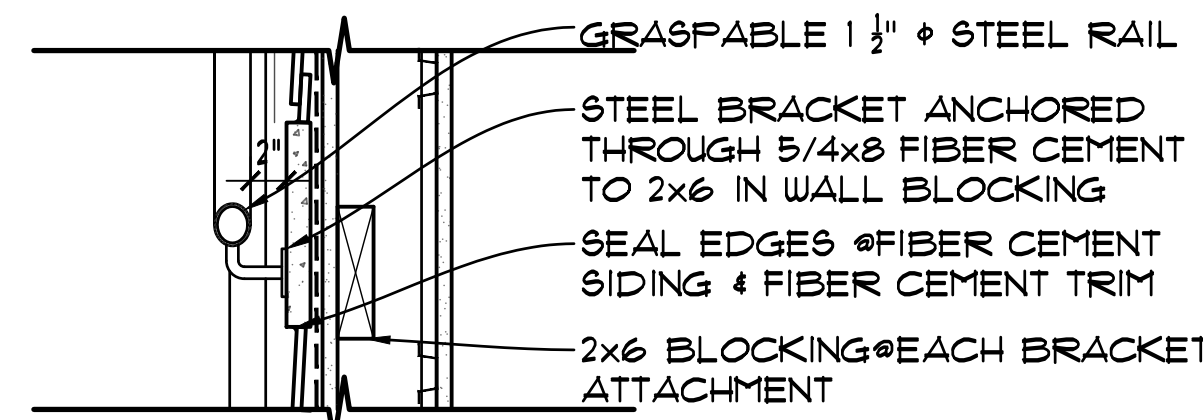
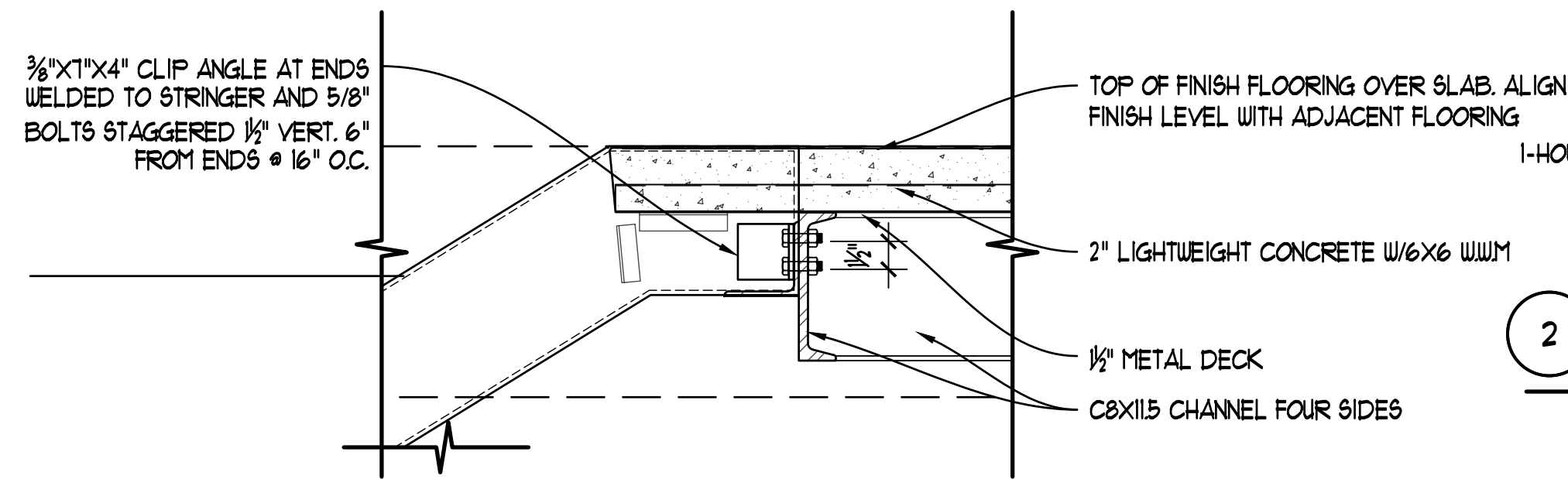
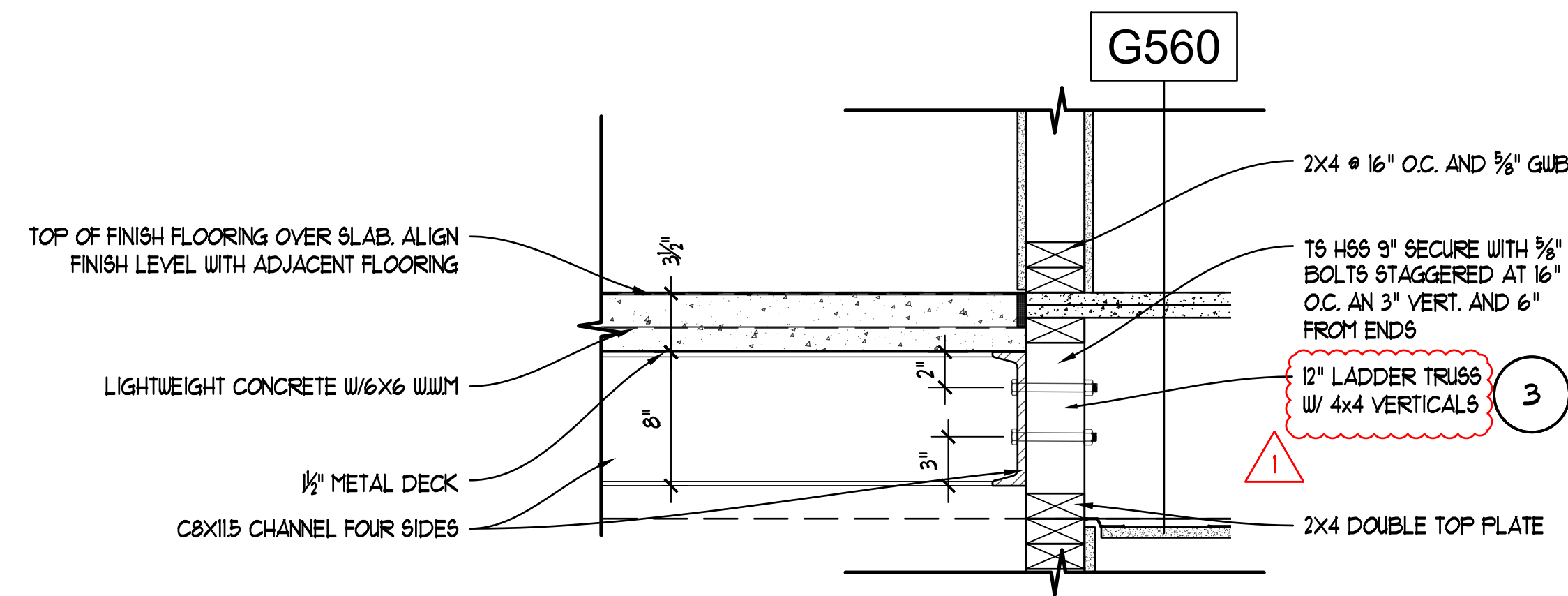
COLEMAN MILL APARTMENTS
CONCORD, NC

BUILDING SECTIONS



A3.09B

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3 WEST COTTON WAREHOUSE SECOND FLOOR STAIRWAY (3-PLACES)
SCALE: 1/2" = 1'-0"

2 WEST COTTON WAREHOUSE FIRST FLOOR STAIRWAY (3-PLACES)
SCALE: 1/2" = 1'-0"

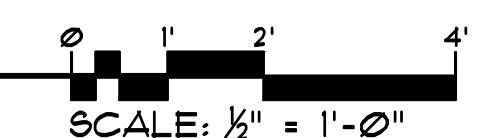
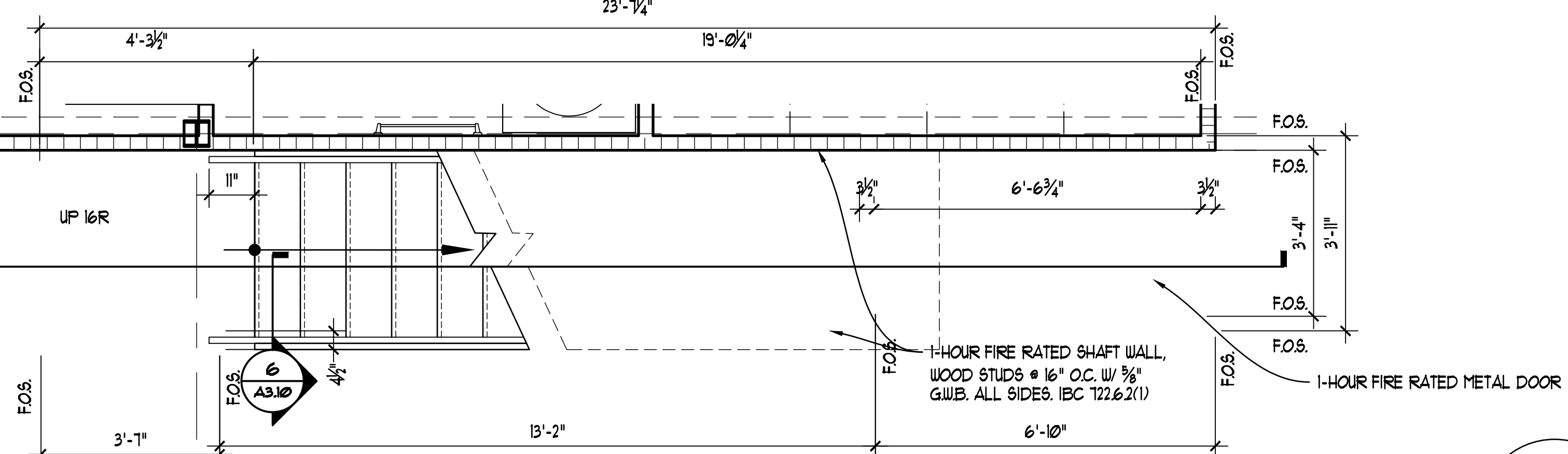
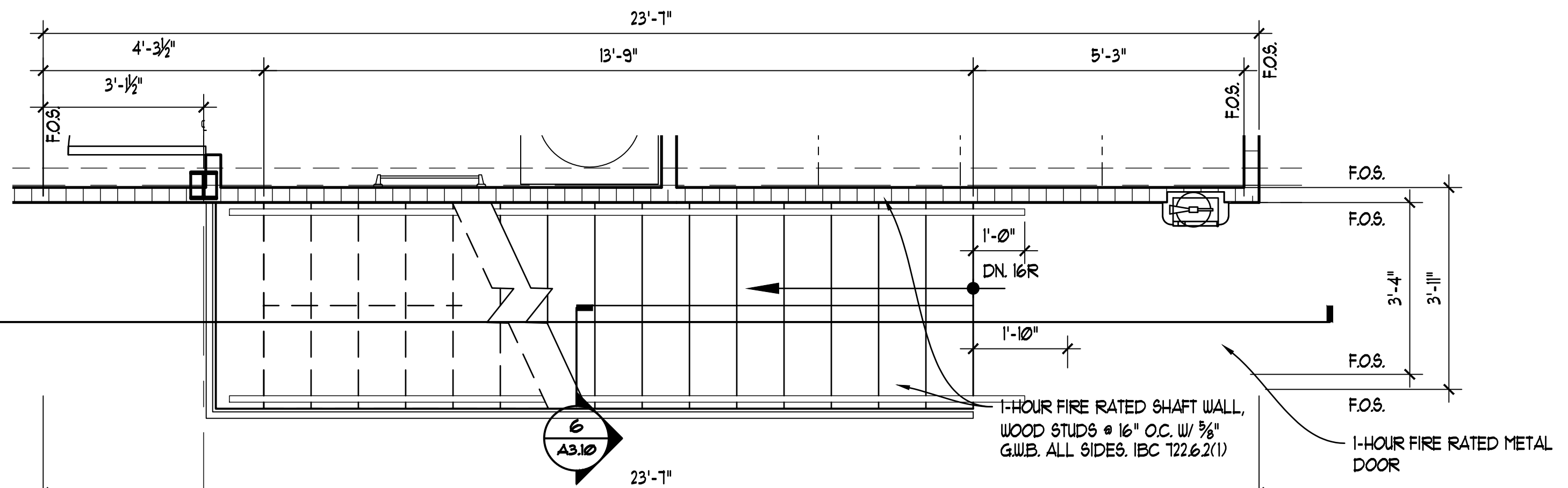
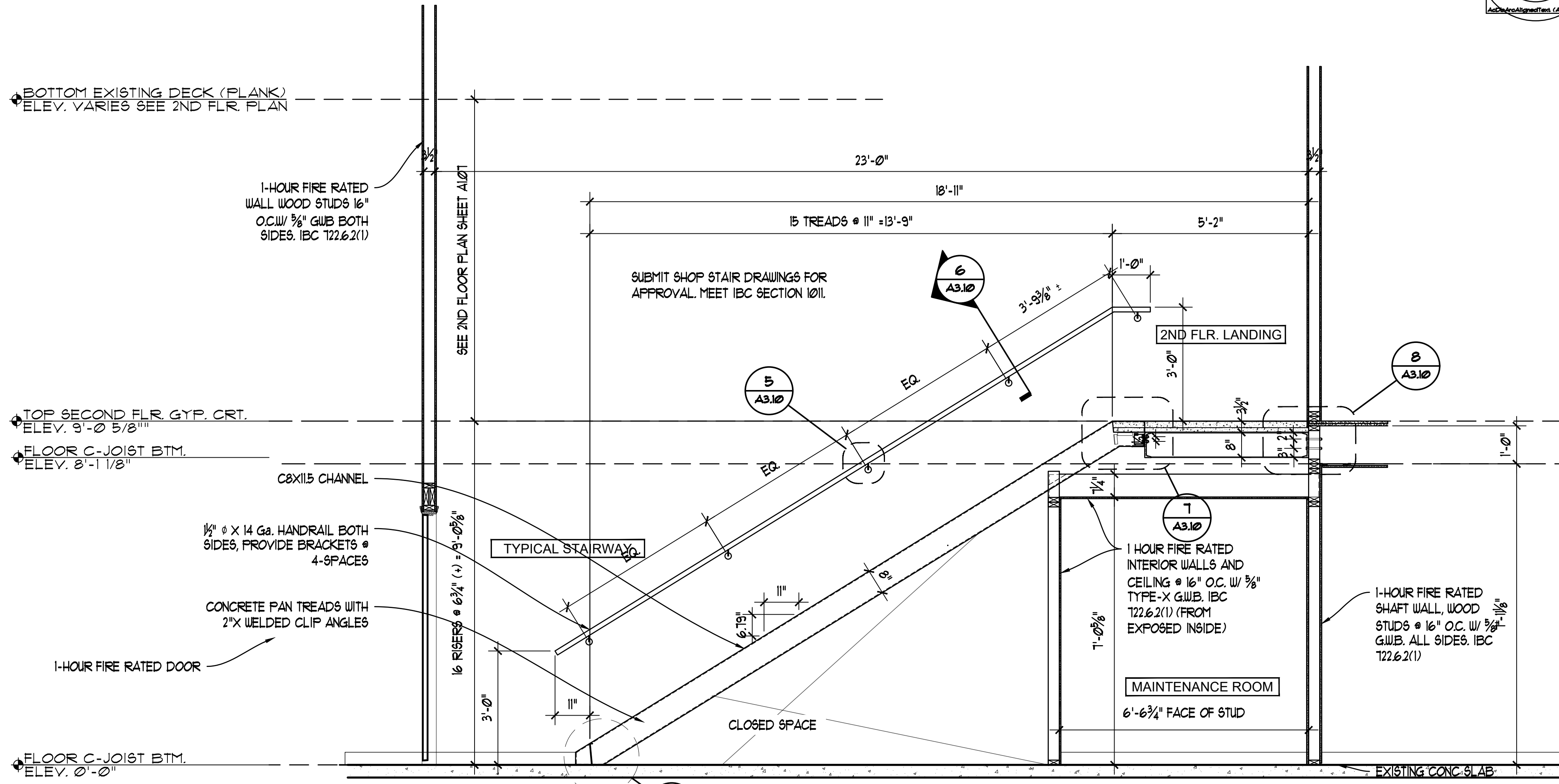
4 BOTTOM EXISTING DECK (PLANK)
ELEV. VARIES SEE 2ND FLR. PLAN

5 TOP SECOND FLR. GYP. CRT.
ELEV. 9'-0 5/8"

6 FLOOR C-JOIST BTM.
ELEV. 8'-1 1/8"

7 FLOOR C-JOIST BTM.
ELEV. 0'-0"

1 WEST COTTON WAREHOUSE STAIRWAY (3-PLACES)
SCALE: 1/2" = 1'-0"

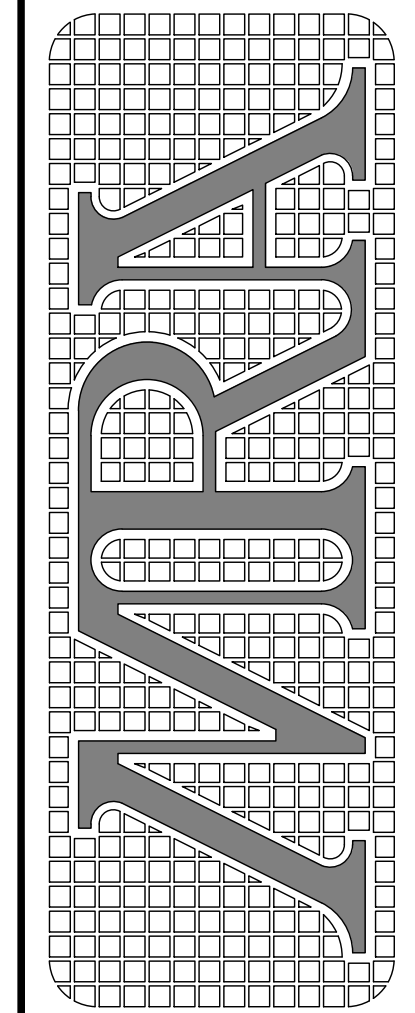


REVISIONS	
PROJECT	2018-043
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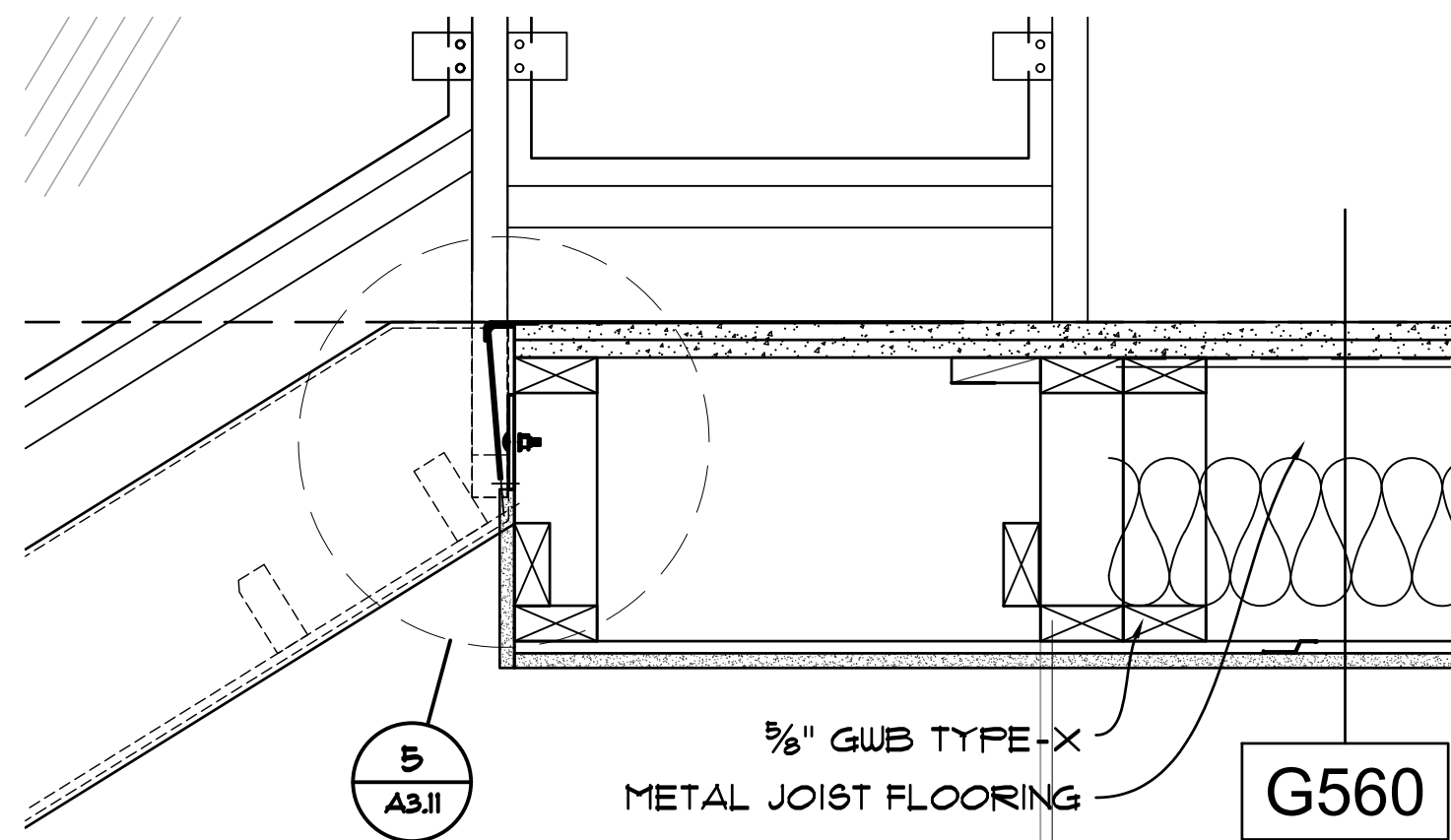
COLEMAN MILL APARTMENTS
CONCORD, NC

STAIRWAYS

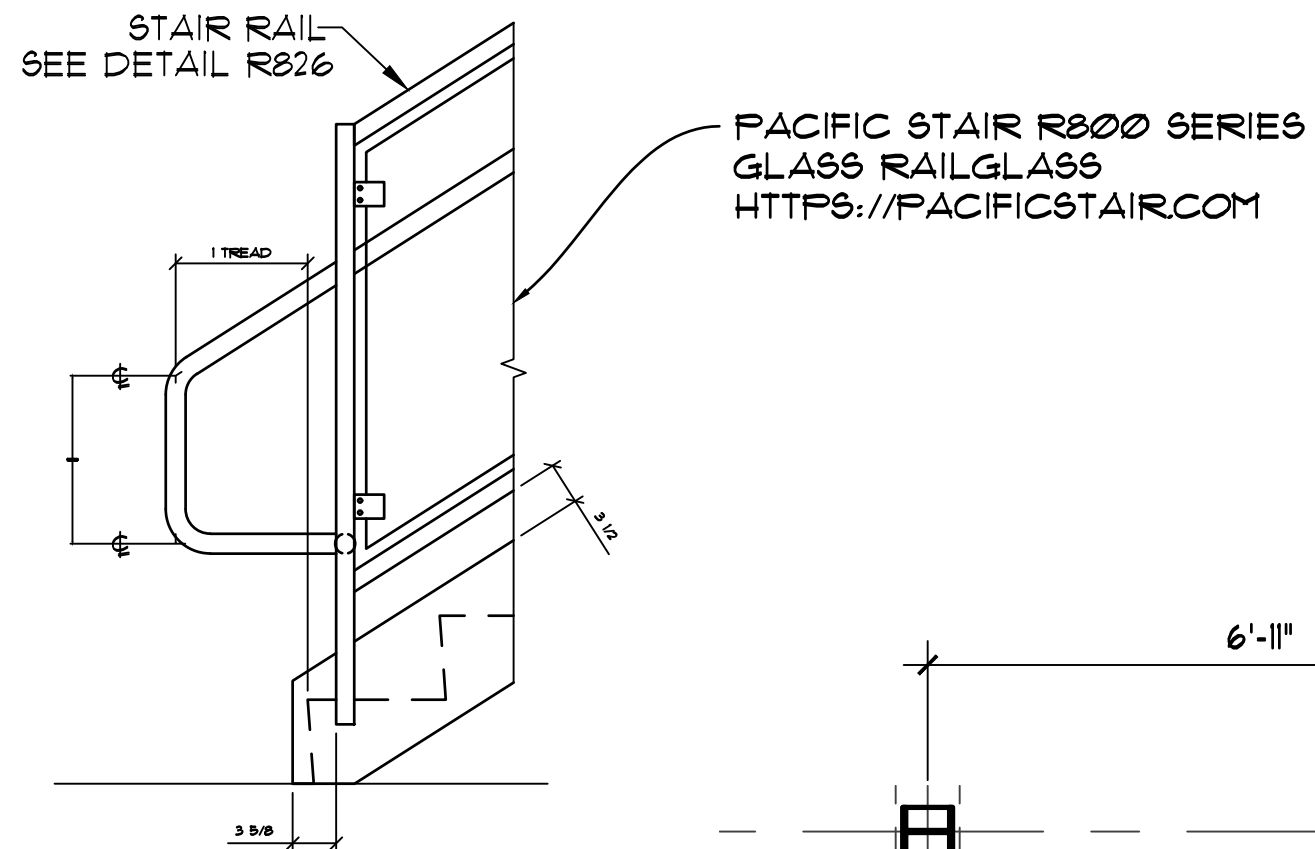


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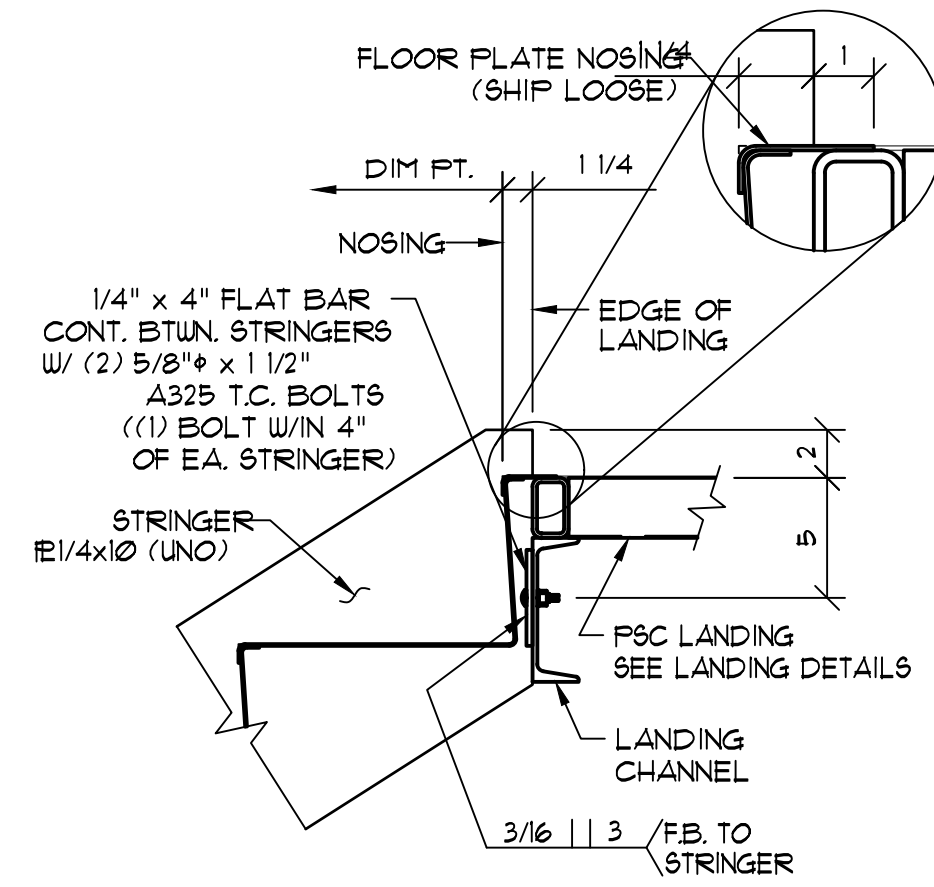
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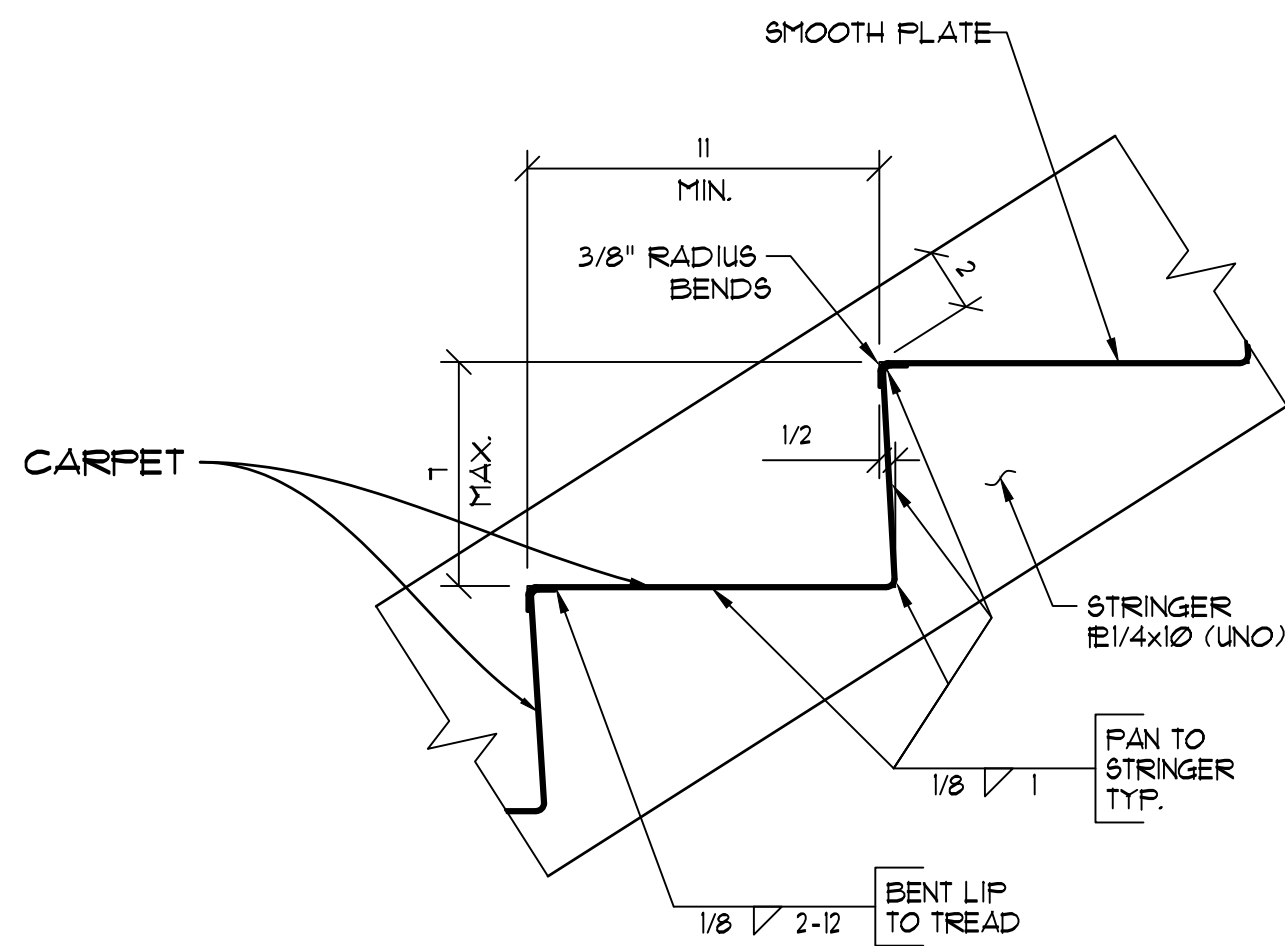
6 TREAD / RISER CONSTRUCTION
SCALE: 1/2" = 1'-0"



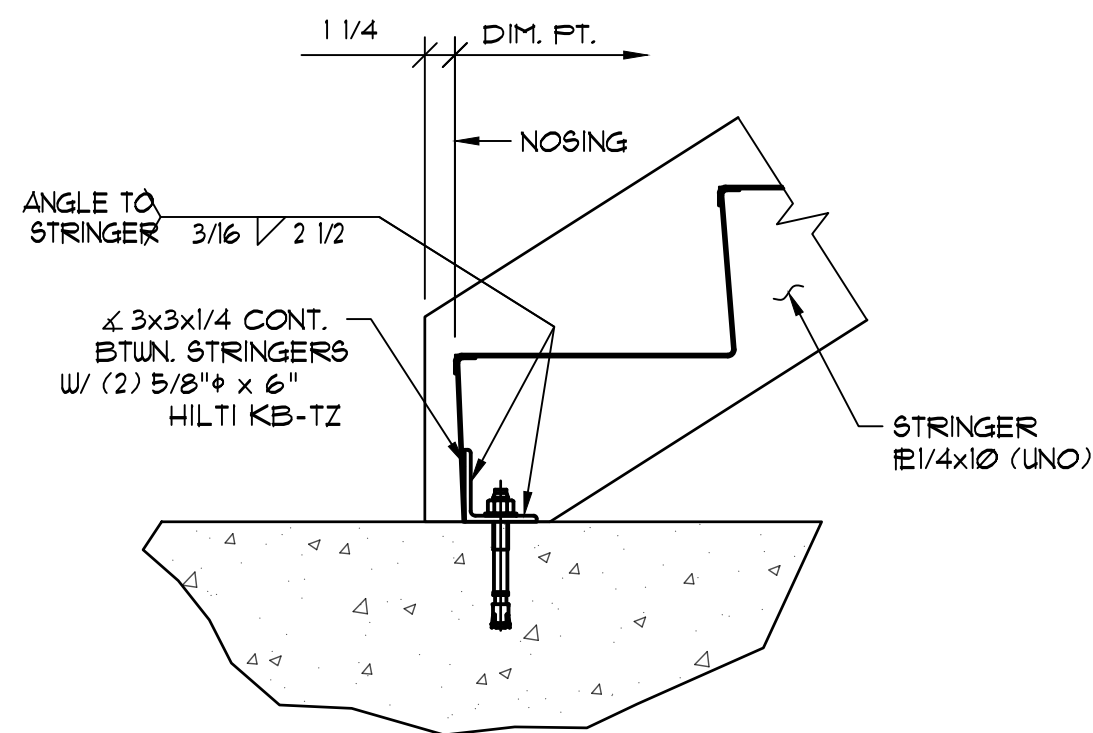
7 STARTER RAIL
SCALE: 3/4" = 1'-0"



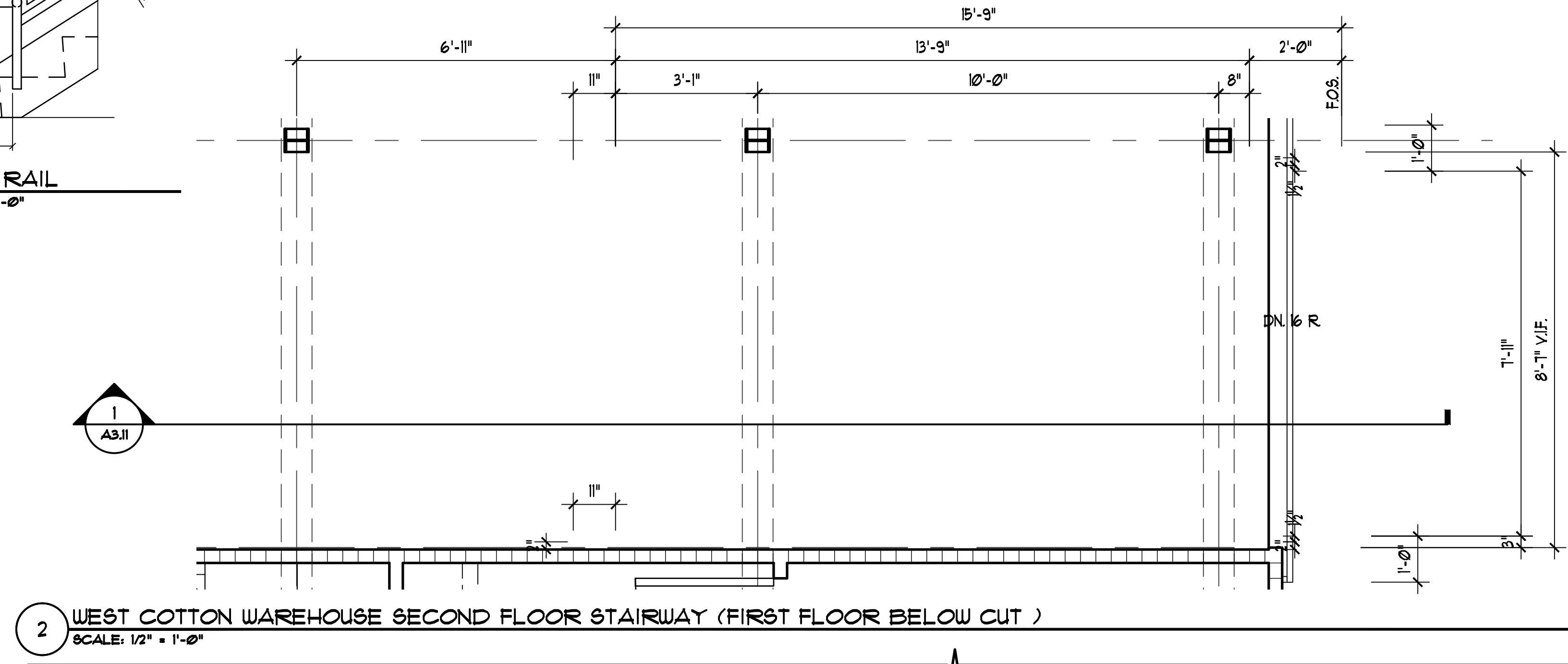
5 TREAD / RISER CONSTRUCTION
SCALE: 1/2" = 1'-0"



4 TREAD / RISER CONSTRUCTION
SCALE: 1/2" = 1'-0" L500, SMOOTH PLATE [HTTPS://PACIFICSTAIR.COM](https://pacificstair.com) OR SIMILAR



3 CONNECTION TO CONCRETE SLAB WITH ANCHOR
SCALE: 1/2" = 1'-0"



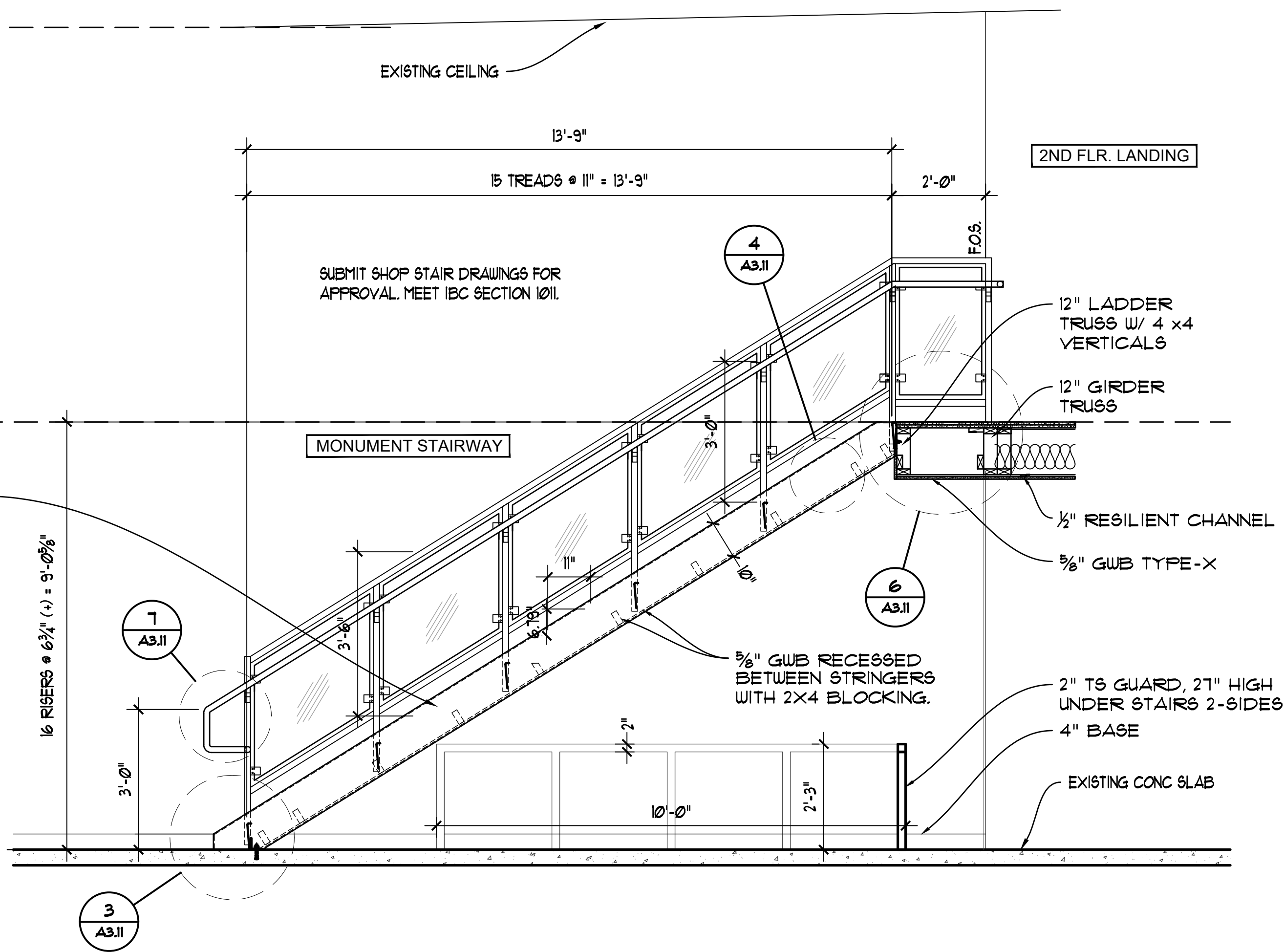
2 WEST COTTON WAREHOUSE SECOND FLOOR STAIRWAY (FIRST FLOOR BELOW CUT)
SCALE: 1/2" = 1'-0"

♦ BOTTOM EXISTING DECK (PLANK)
ELEV. VARIES SEE 2ND FLR. PLAN

♦ TOP SECOND FLR. GYP. CRT.
ELEV. 9'-0 5/8"
♦ FLOOR C-JOIST BTM.
ELEV. 8'-1 1/8"

♦ FLOOR C-JOIST BTM.
ELEV. 0'-0"

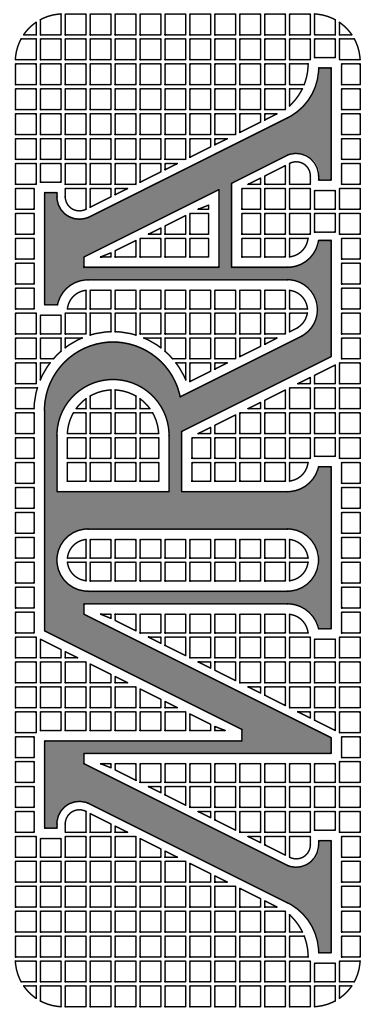
1 WEST COTTON WAREHOUSE STAIRWAY (3-PLACES)
SCALE: 1/2" = 1'-0"



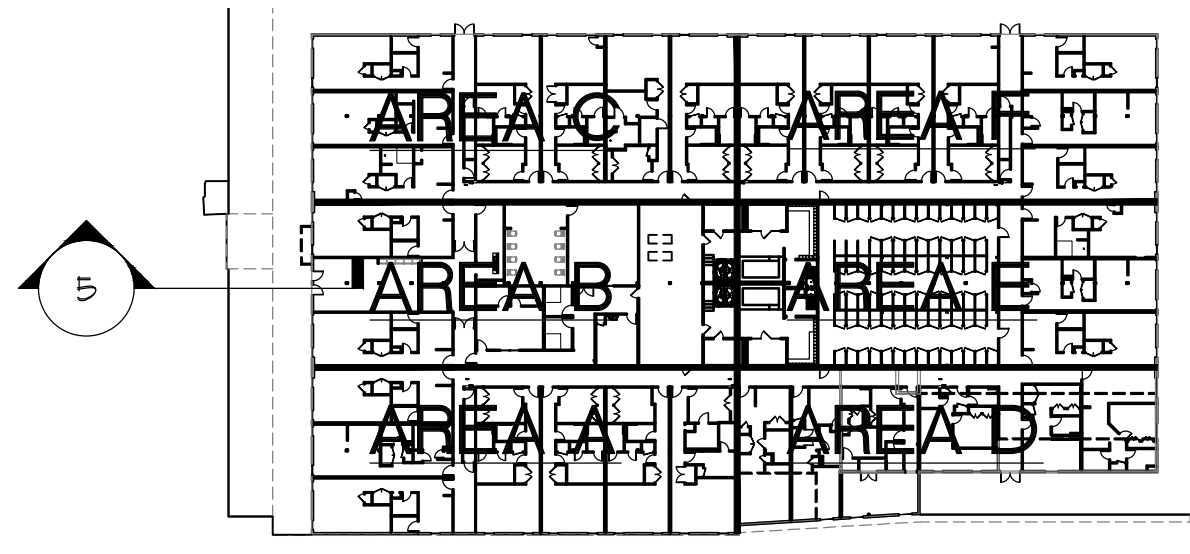
SCALE: 1/2" = 1'-0"



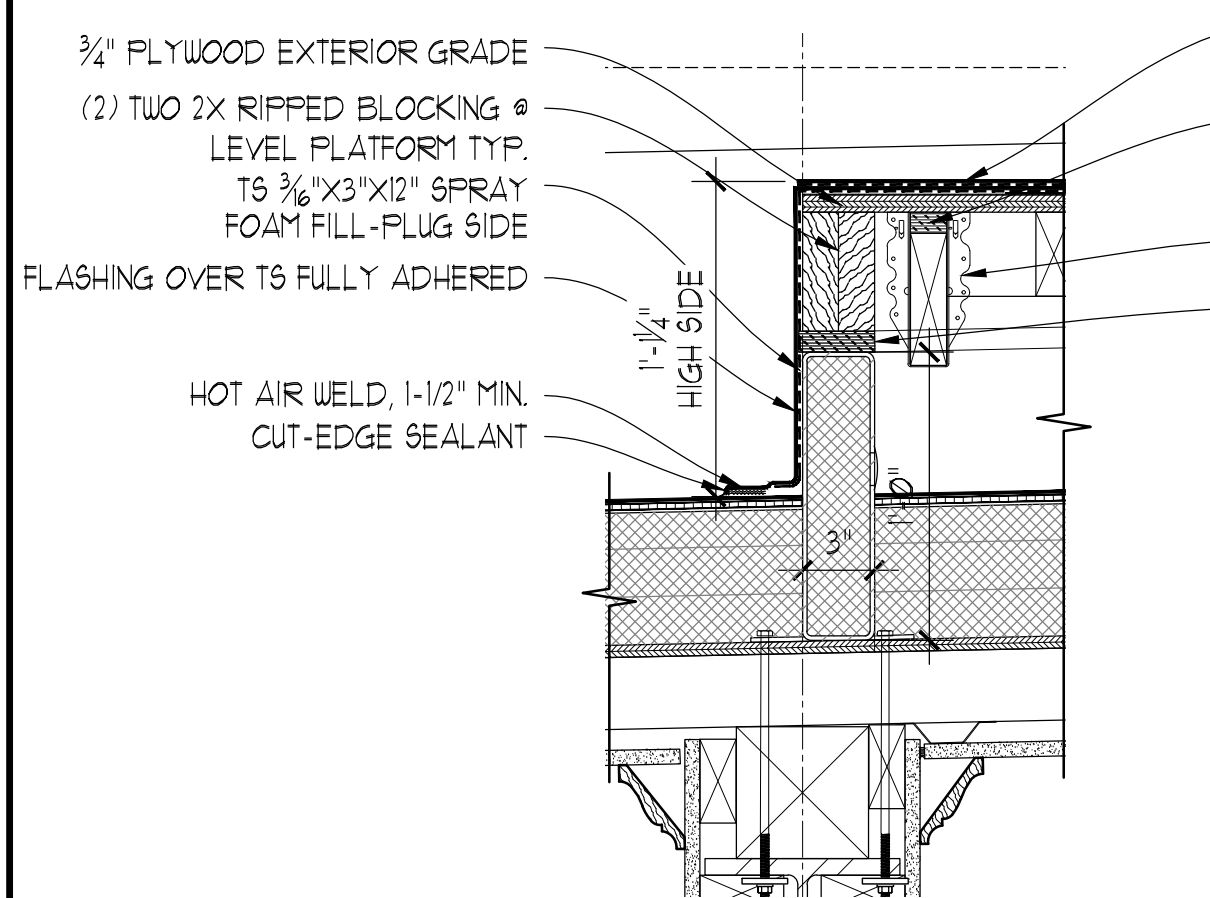
MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-375-2800
CONCORD, NC
MONUMENT STAIR



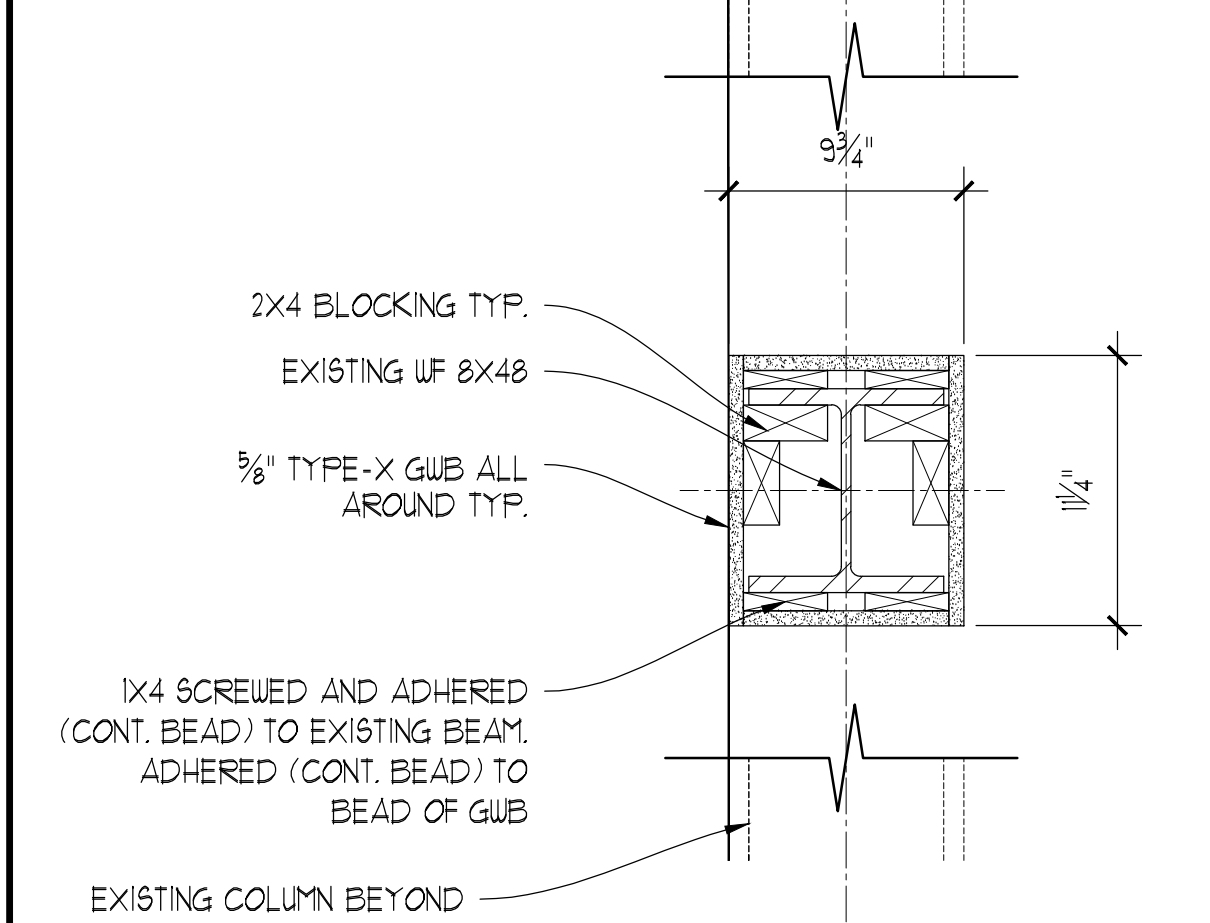
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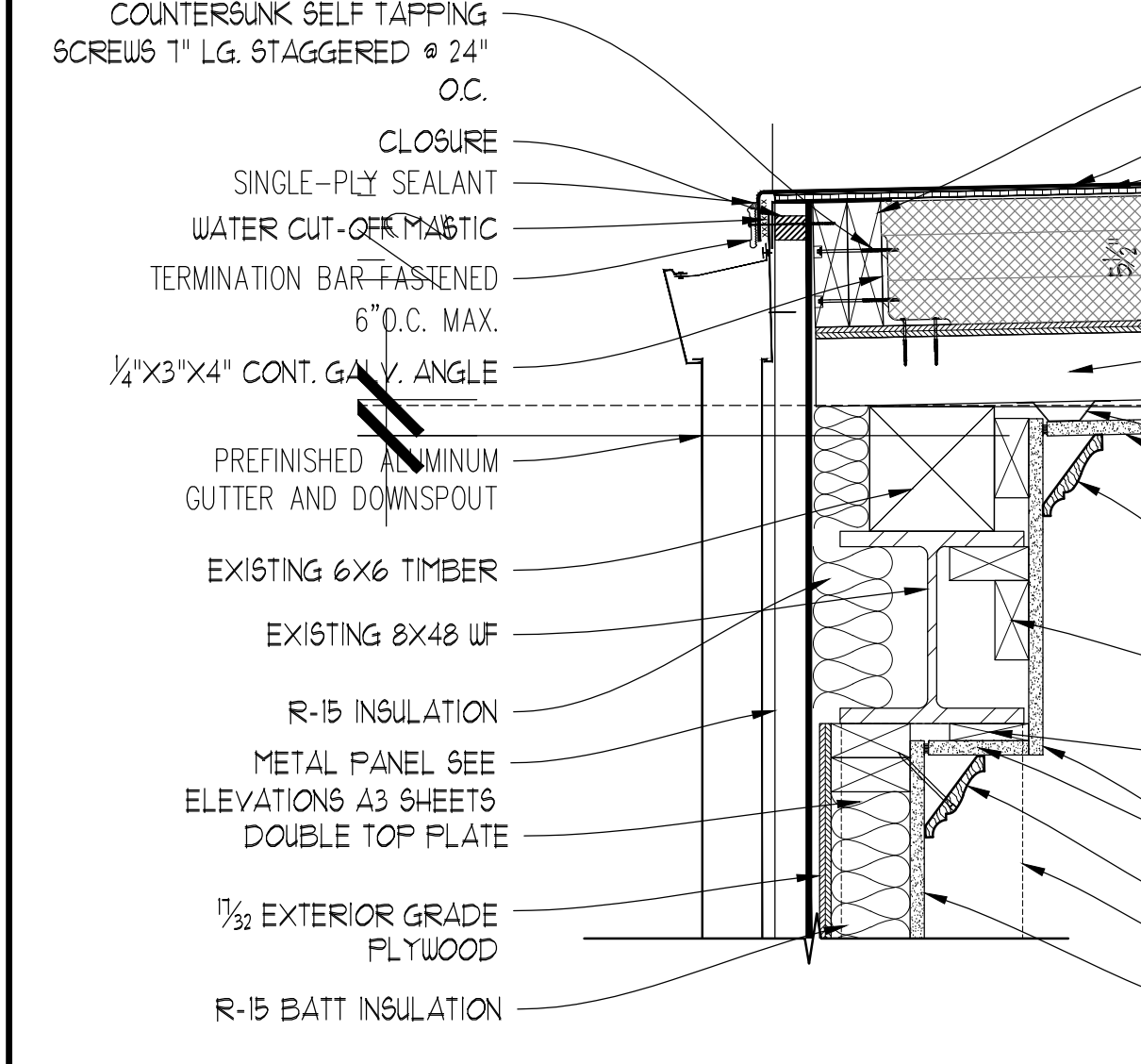
KEY BUILDING AREAS - A, B, C, D, E, & F)
SCALE: 1/2" = 1'-0"



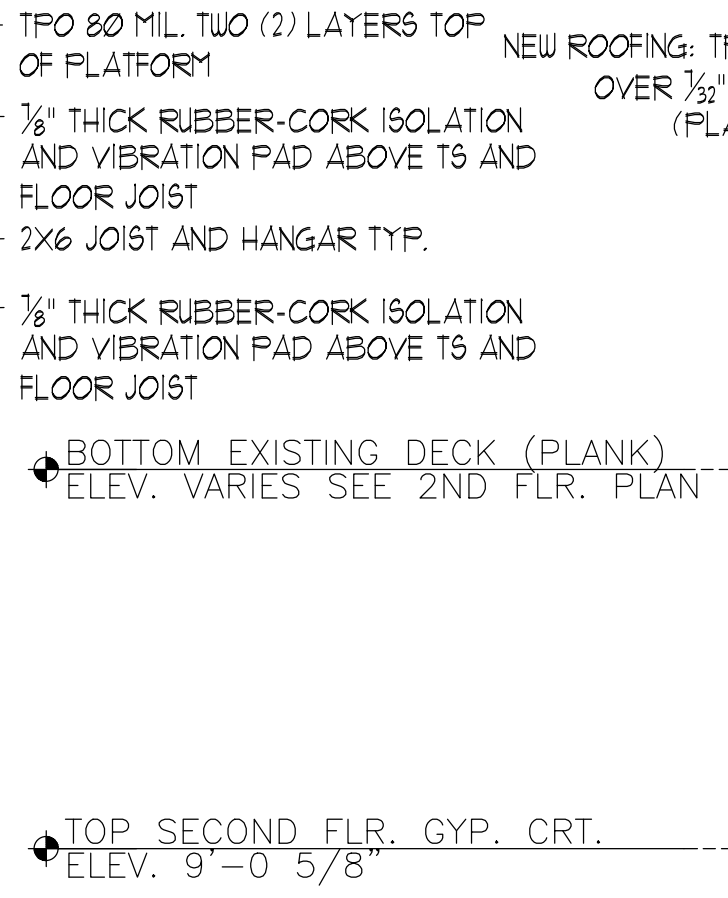
EXISTING COLUMN SECTION
SCALE: 1/2" = 1'-0"



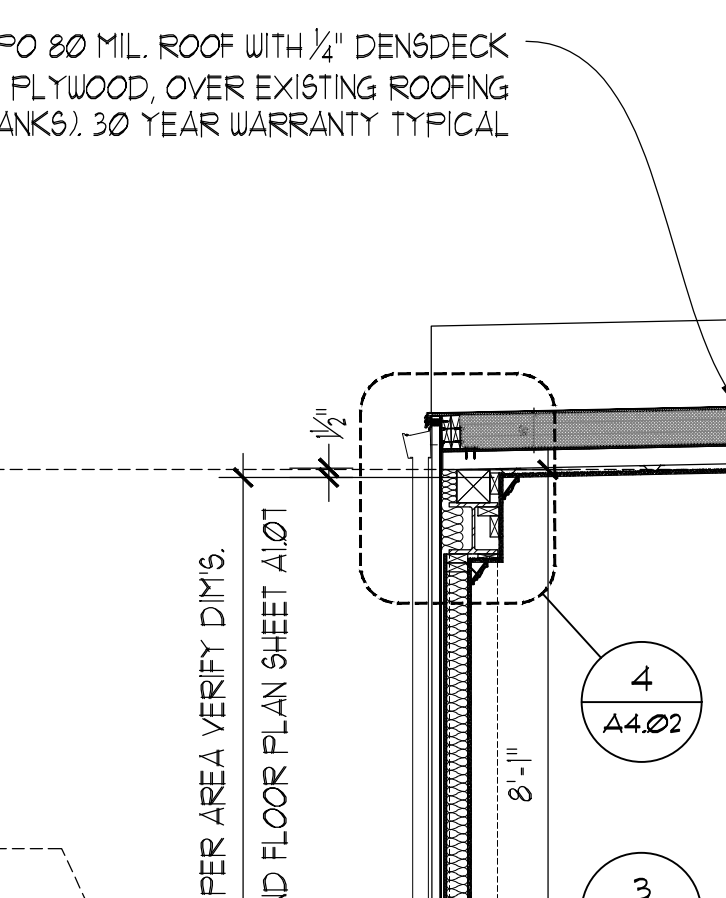
EXISTING COLUMN SECTION
SCALE: 1/2" = 1'-0"



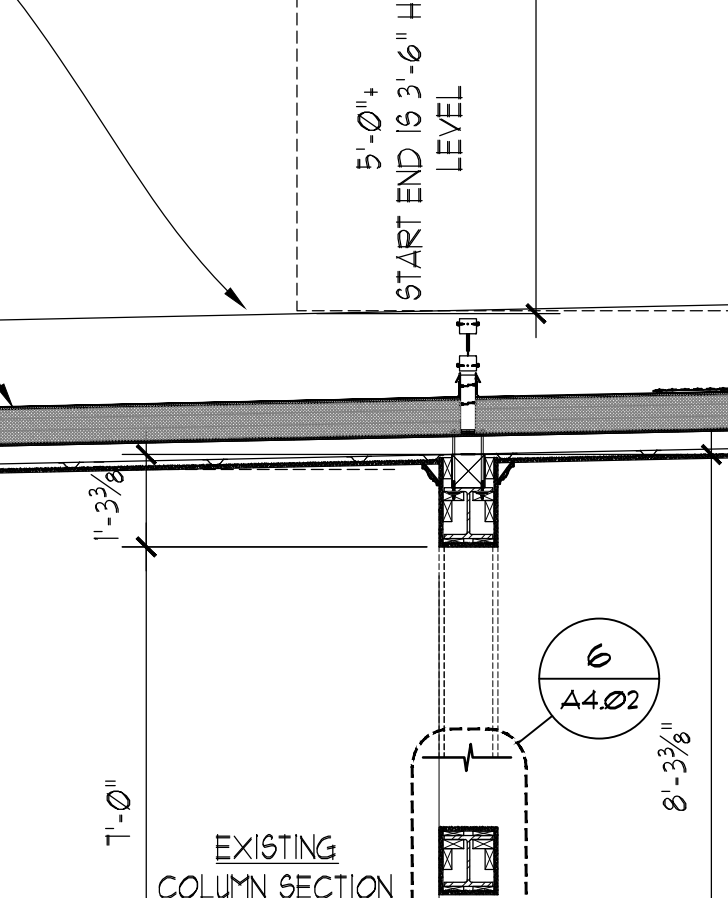
ROOF EDGE W/ GUTTER
SCALE: 1/2" = 1'-0"



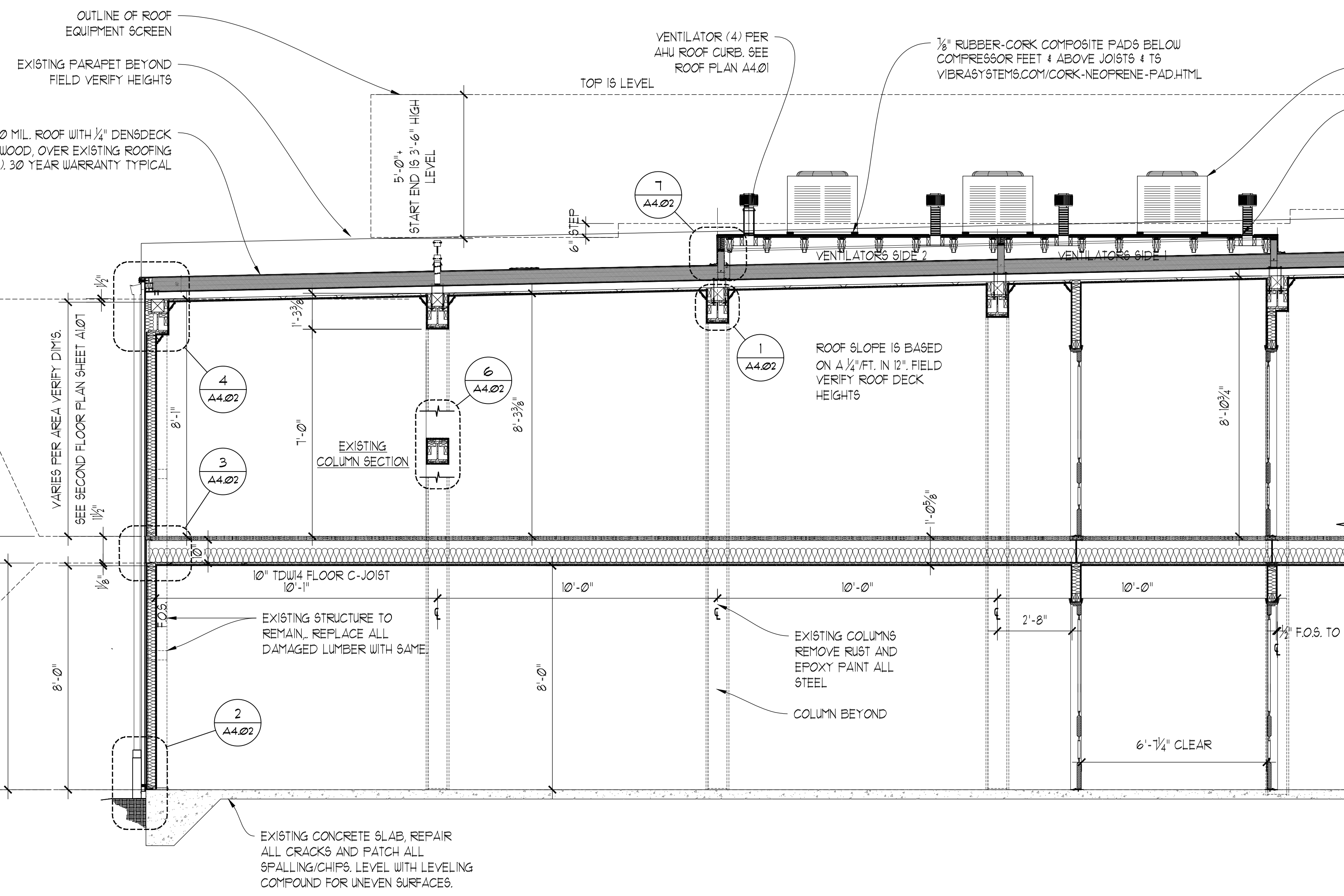
WALL / FLOOR C-JOIST
SCALE: 1/2" = 1'-0"



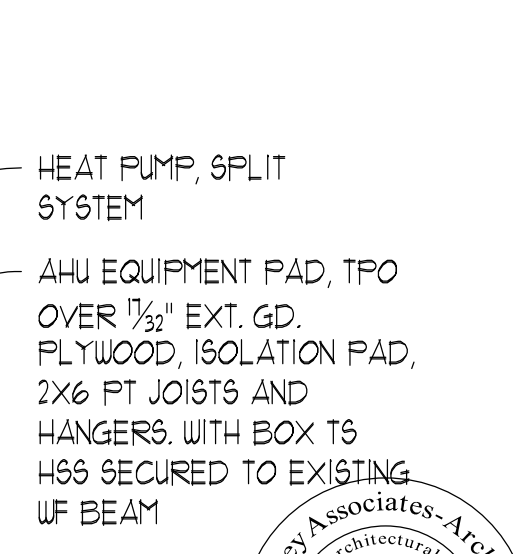
FOUNDATION & WALL PANEL
SCALE: 1/2" = 1'-0"



EXISTING BEAM ENCLOSURE
SCALE: 1/2" = 1'-0"



BUILDING SECTION AREA B (AREAS A, C, E, & F HEIGHT VARIES, MIRROR SECTIONS D, E, & F, SIMILAR)
SCALE: 3/8" = 1'-0"



EXISTING BEAM ENCLOSURE
SCALE: 1/2" = 1'-0"



WALL / FLOOR C-JOIST
SCALE: 1/2" = 1'-0"

FOUNDATION & WALL PANEL
SCALE: 1/2" = 1'-0"

EXISTING BEAM ENCLOSURE
SCALE: 1/2" = 1'-0"

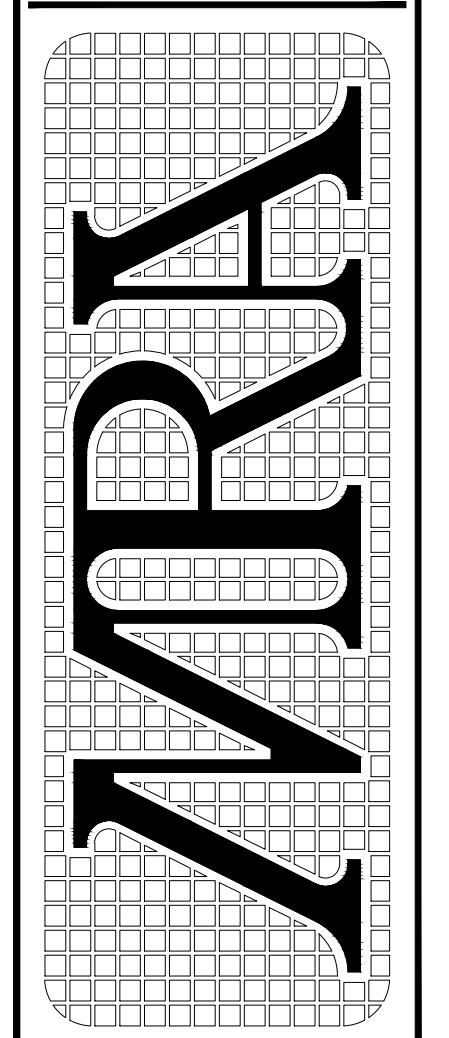
REVISIONS

PROJECT: 2019-043
DATE: 7-14-21
DRAWN BY: [Signature]
CHECKED BY: [Signature]
LEG

Martin Riley Associates - Architects, P.C.
50341
Decatur, Georgia

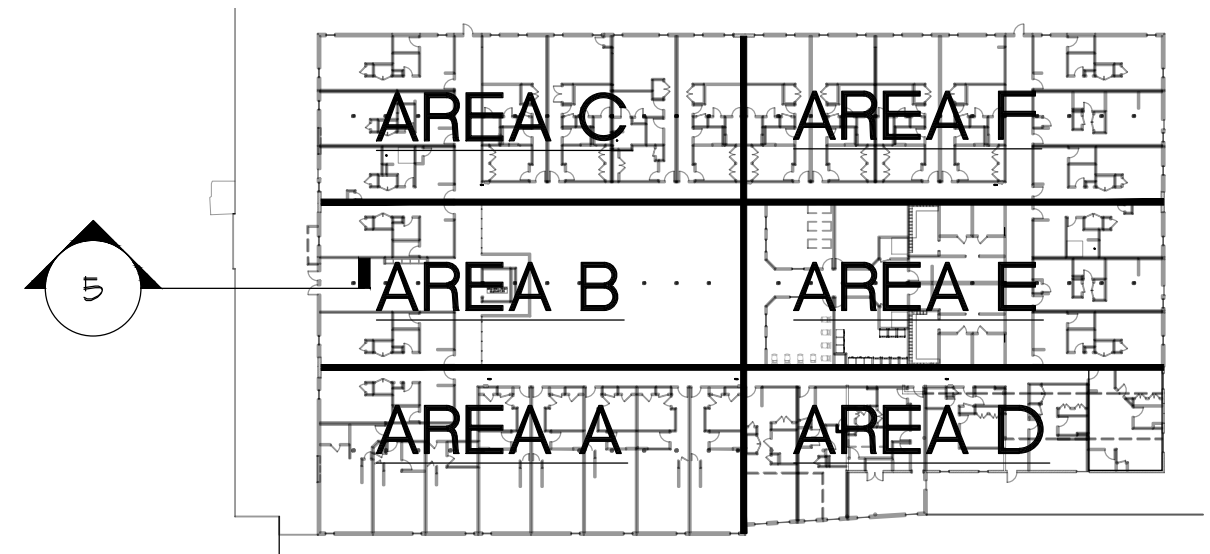
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CONCORD, NC

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CONCORD, NC

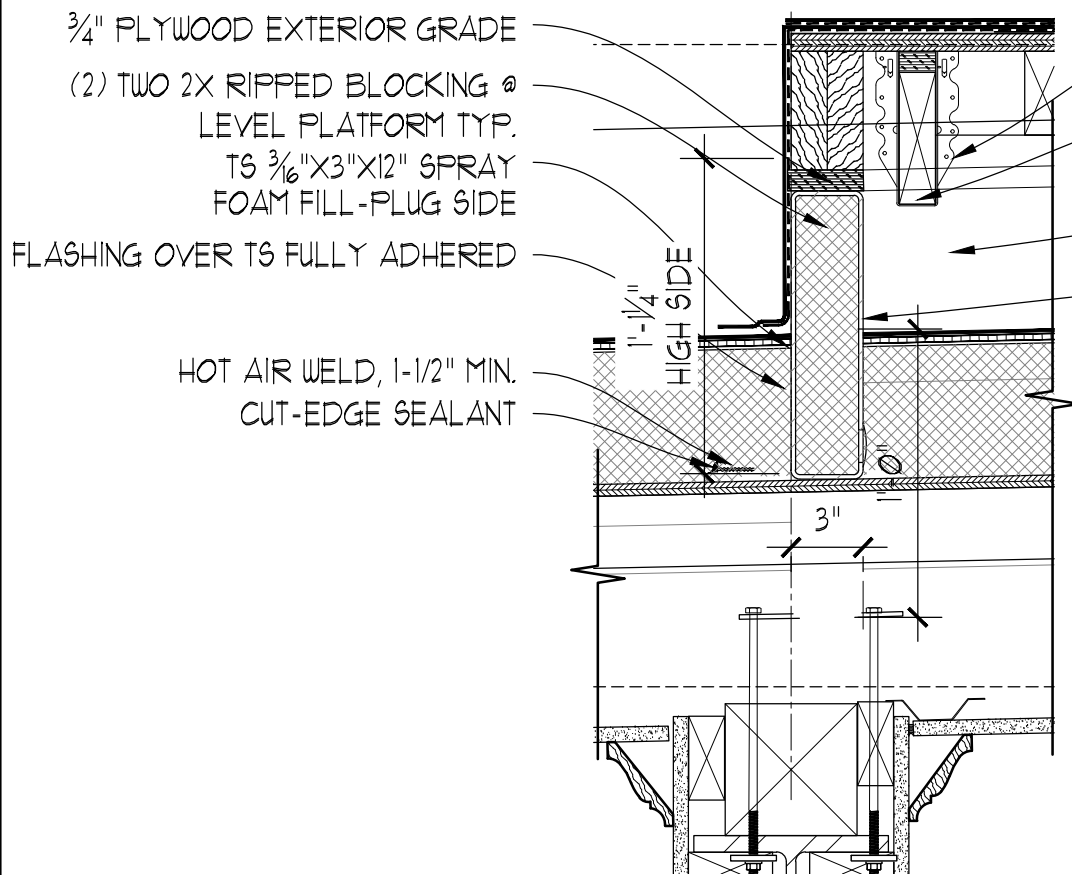


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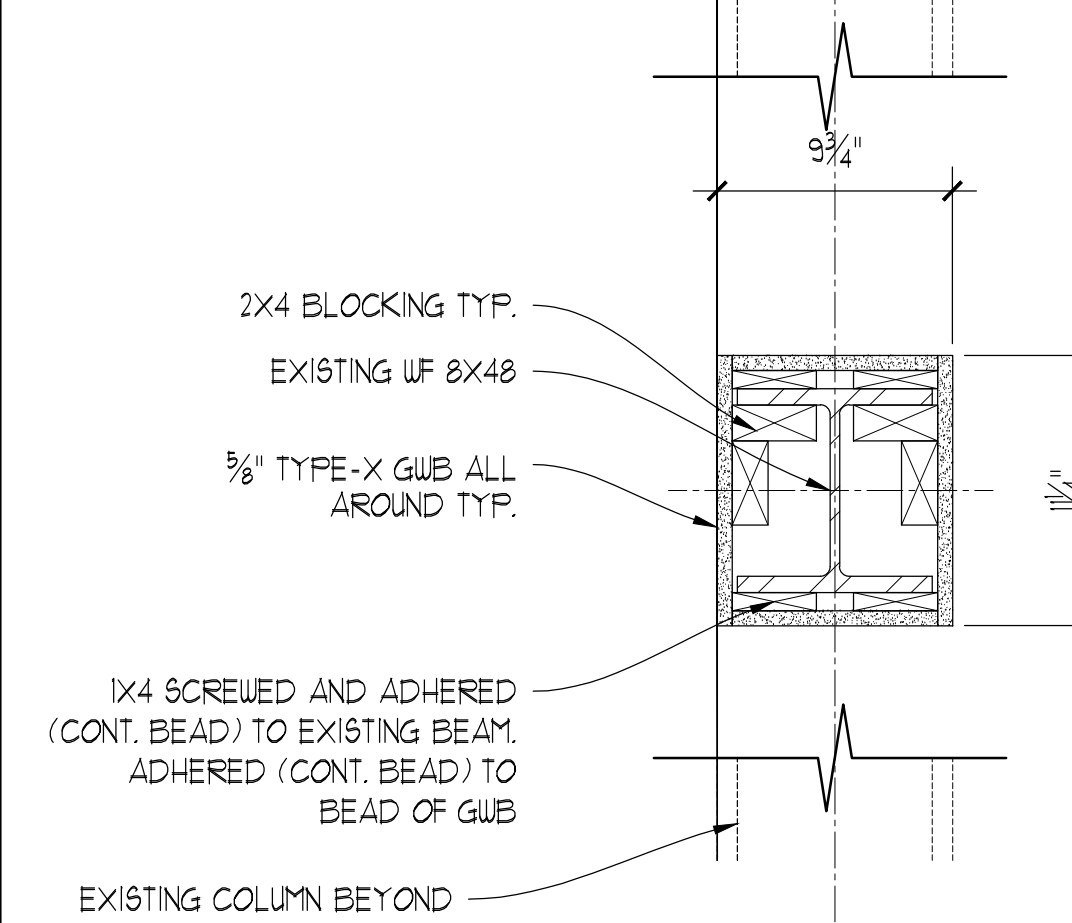
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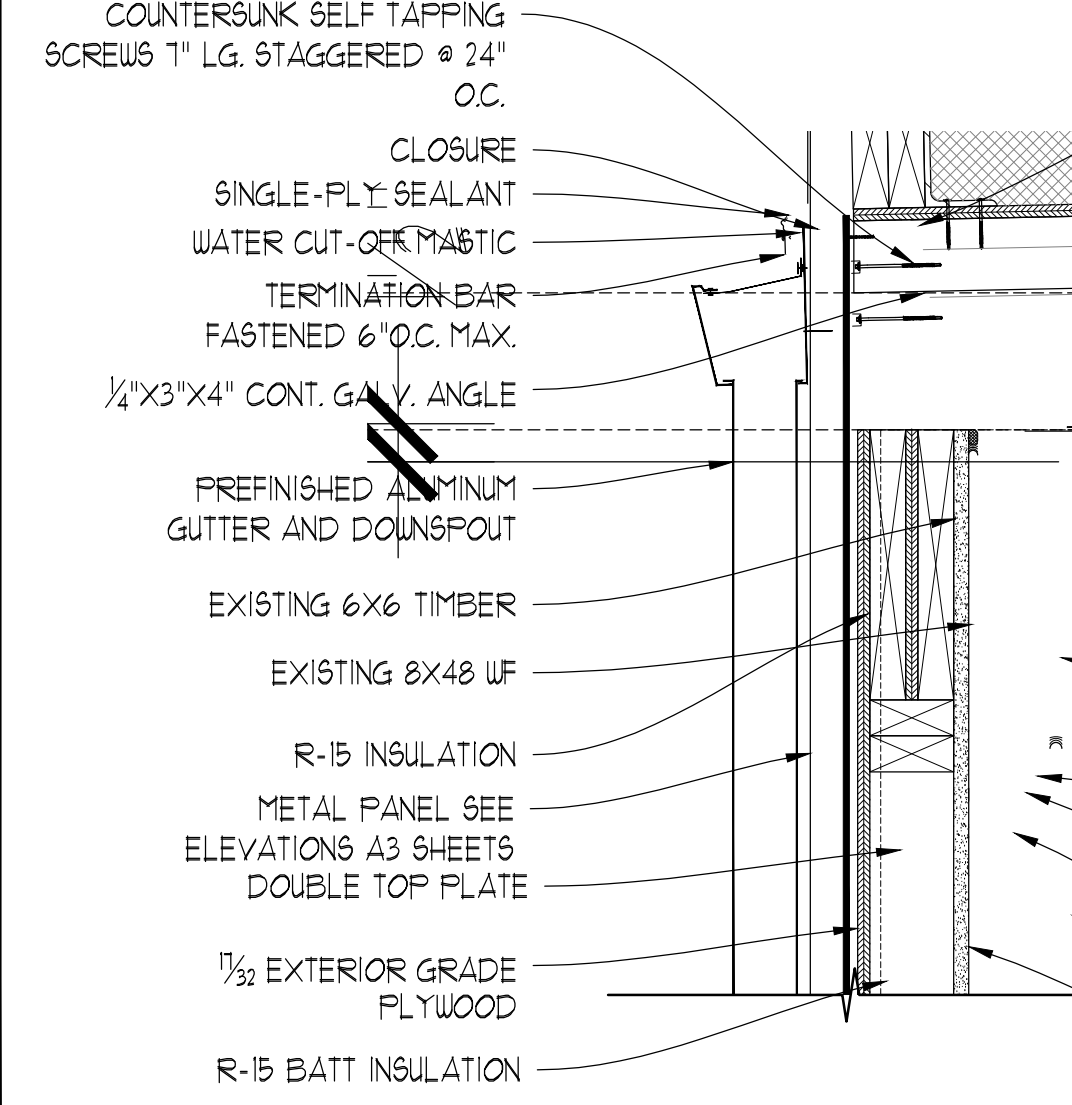
KEY BUILDING AREAS - A, B, C, D, E, & F
SCALE: 1/2" = 1'-0"



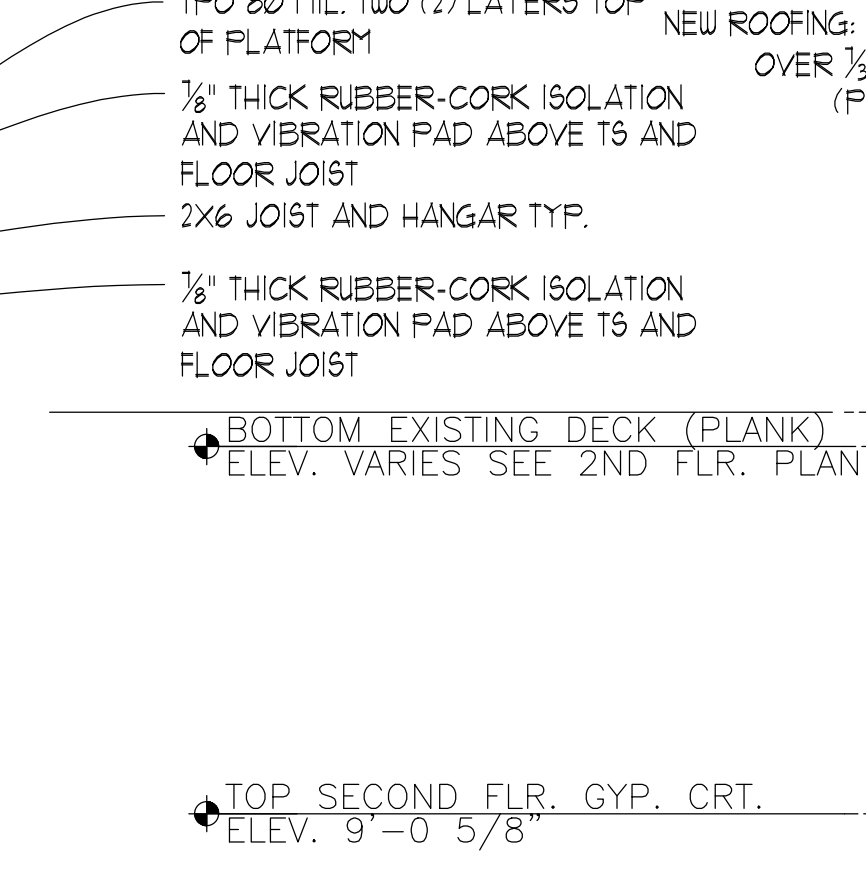
EXISTING COLUMN SECTION
SCALE: 1/2" = 1'-0"



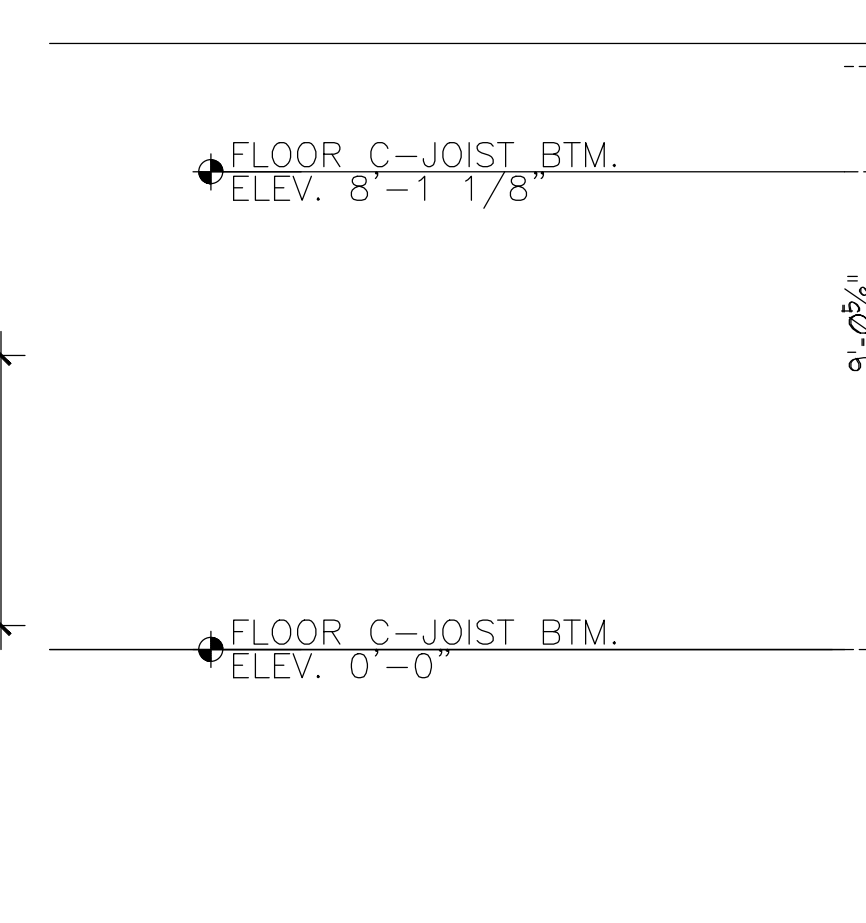
EXISTING COLUMN SECTION
SCALE: 1/2" = 1'-0"



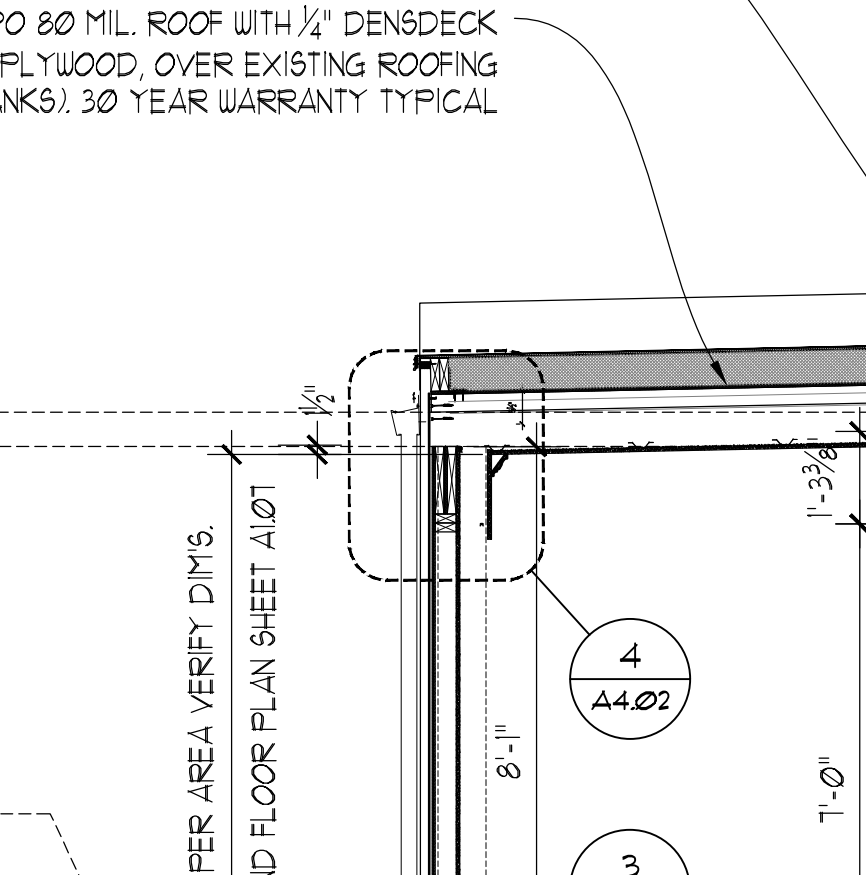
ROOF EDGE W/ GUTTER
SCALE: 1/2" = 1'-0"



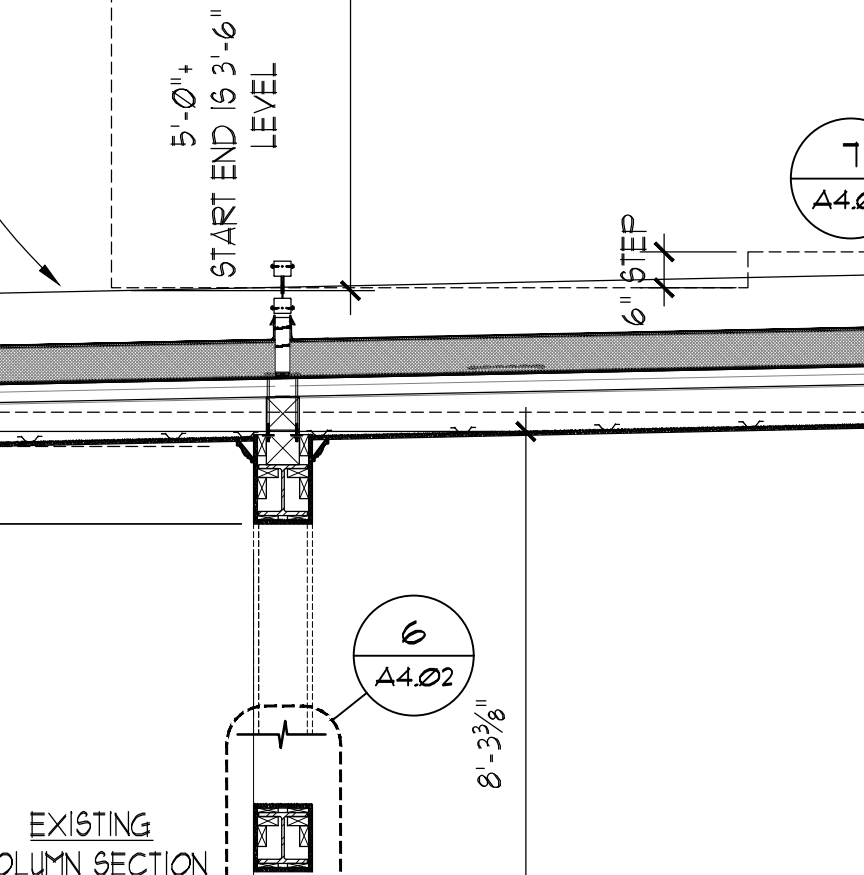
NEW ROOFING
SCALE: 1/2" = 1'-0"



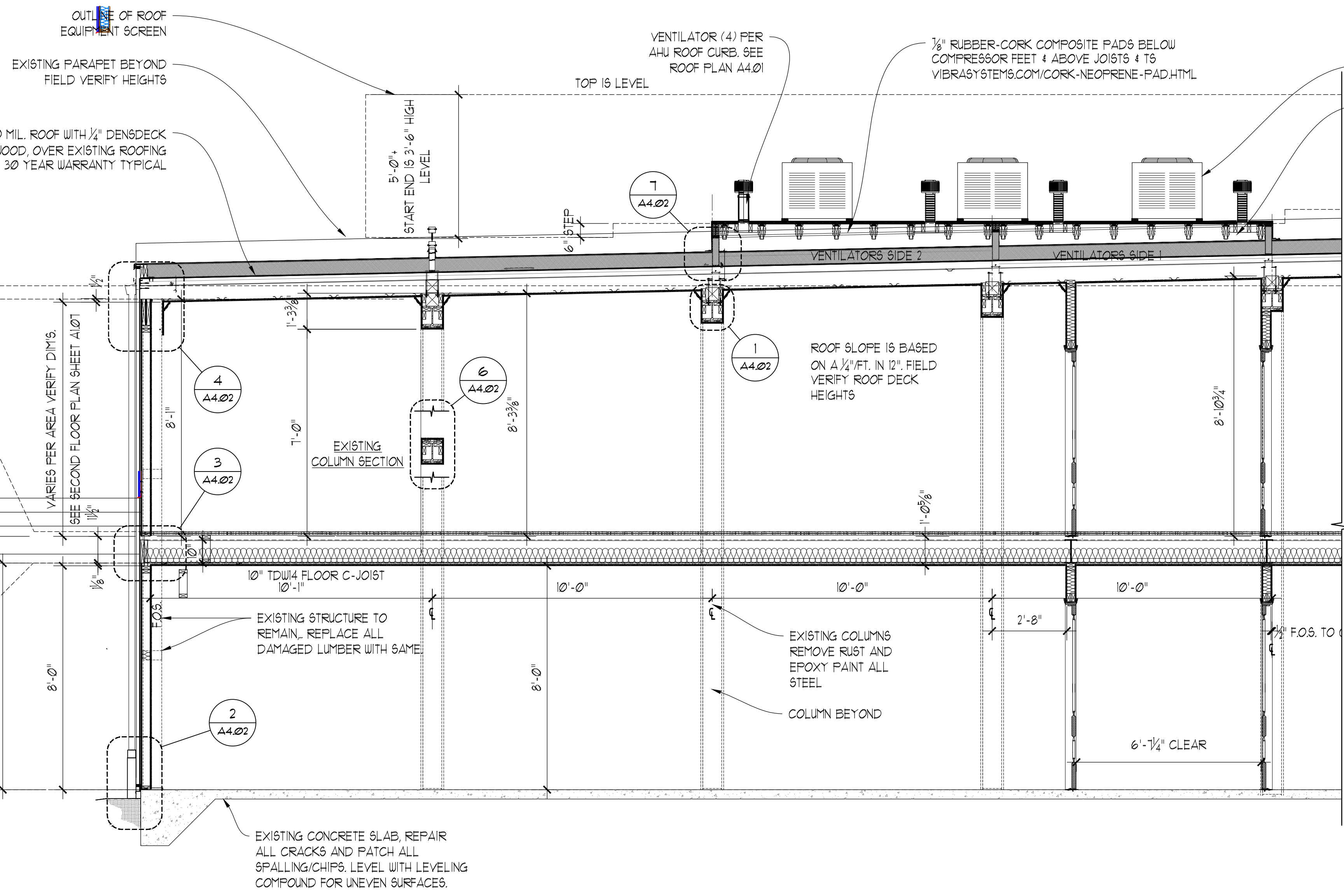
WALL / FLOOR C-JOIST
SCALE: 1/2" = 1'-0"



FOUNDATION & WALL PANEL
SCALE: 1/2" = 1'-0"



EXISTING BEAM ENCLOSURE
SCALE: 1/2" = 1'-0"



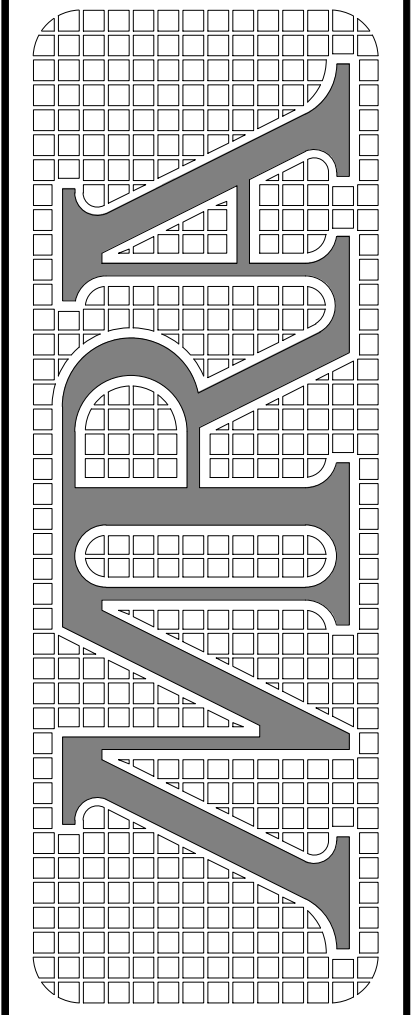
BUILDING SECTION AREA B (AREAS A, C, E, & F HEIGHT VARIES, MIRROR SECTIONS D, E, & F, SIMILAR)
SCALE: 3/8" = 1'-0"

HEAT PUMP, SPLIT SYSTEM
AHU EQUIPMENT PAD, TPO OVER 1/2" EXT. GD. PLYWOOD, ISOLATION PAD, 2X6 FT. JOISTS AND HANGERS WITH BOX TS HSS SECURED TO EXISTING WF BEAM

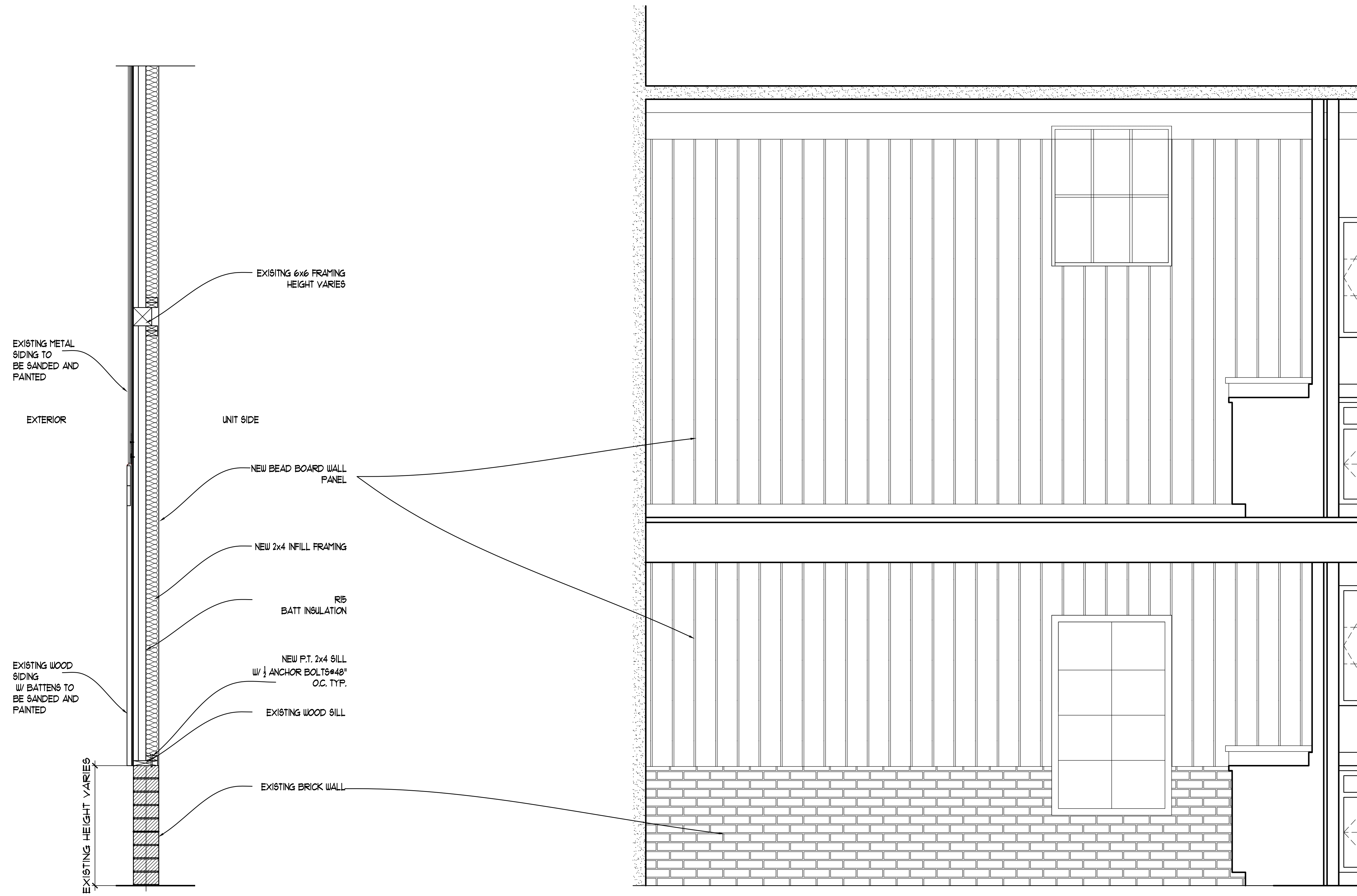


REVISIONS	
PROJECT	2018-043
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CONCORD, NC

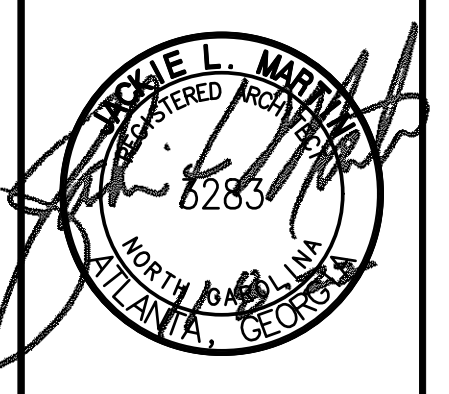
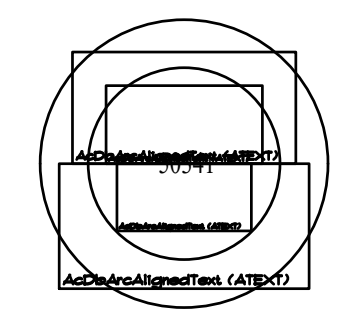


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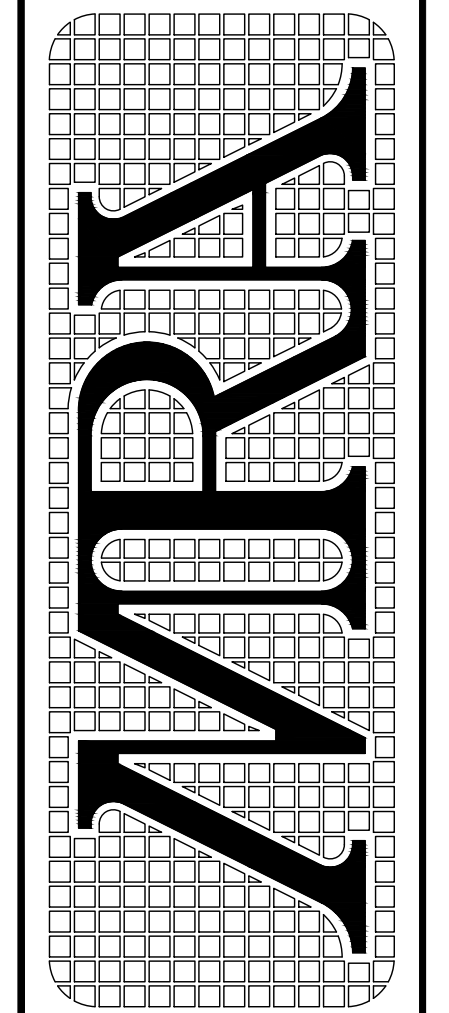


2 EXTERIOR WEST WAREHOUSE WALL ASSEMBLY
3/4"=1'-0"

1 WEST WAREHOUSE PARTIAL INTERIOR VIEW
3/4"=1'-0"

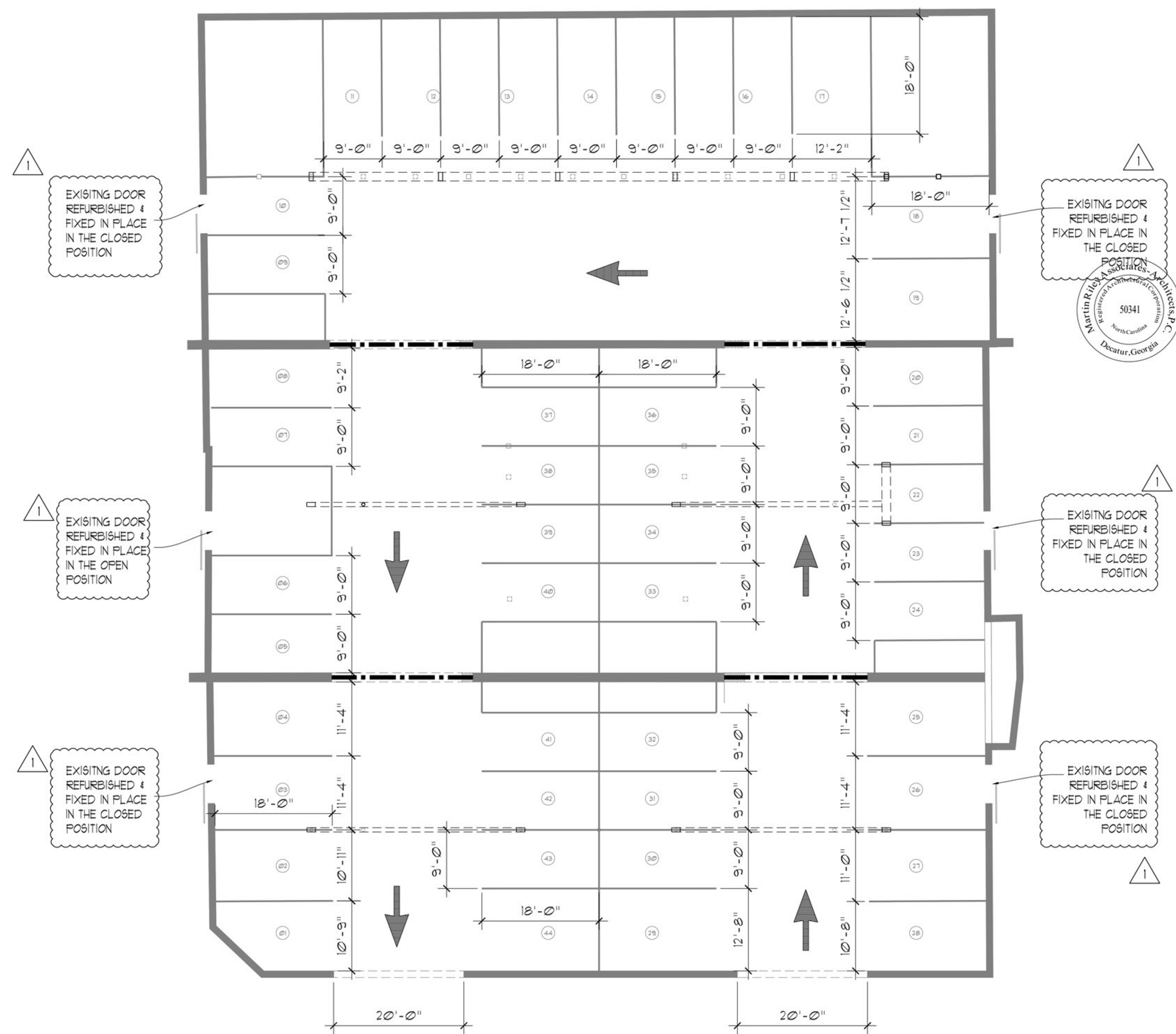


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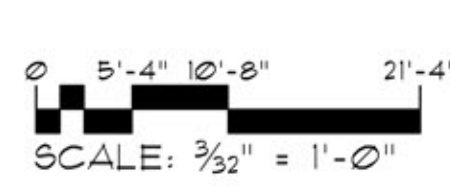


A5.05

PROJECT	2018-043
DATE	7-14-21
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REVISIONS	02-01-22



1 EAST WAREHOUSE NEW PLAN
3/32" = 1'-0"



REVISIONS	9-22-21
PROJECT	2018-043
DATE	7-14-21
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 COLEMAN MILL APARTMENTS
 CONCORD, NC

Martin Riley Associates, Architects, P.C.
 50341
 North Carolina
 Decatur, Georgia

MRA

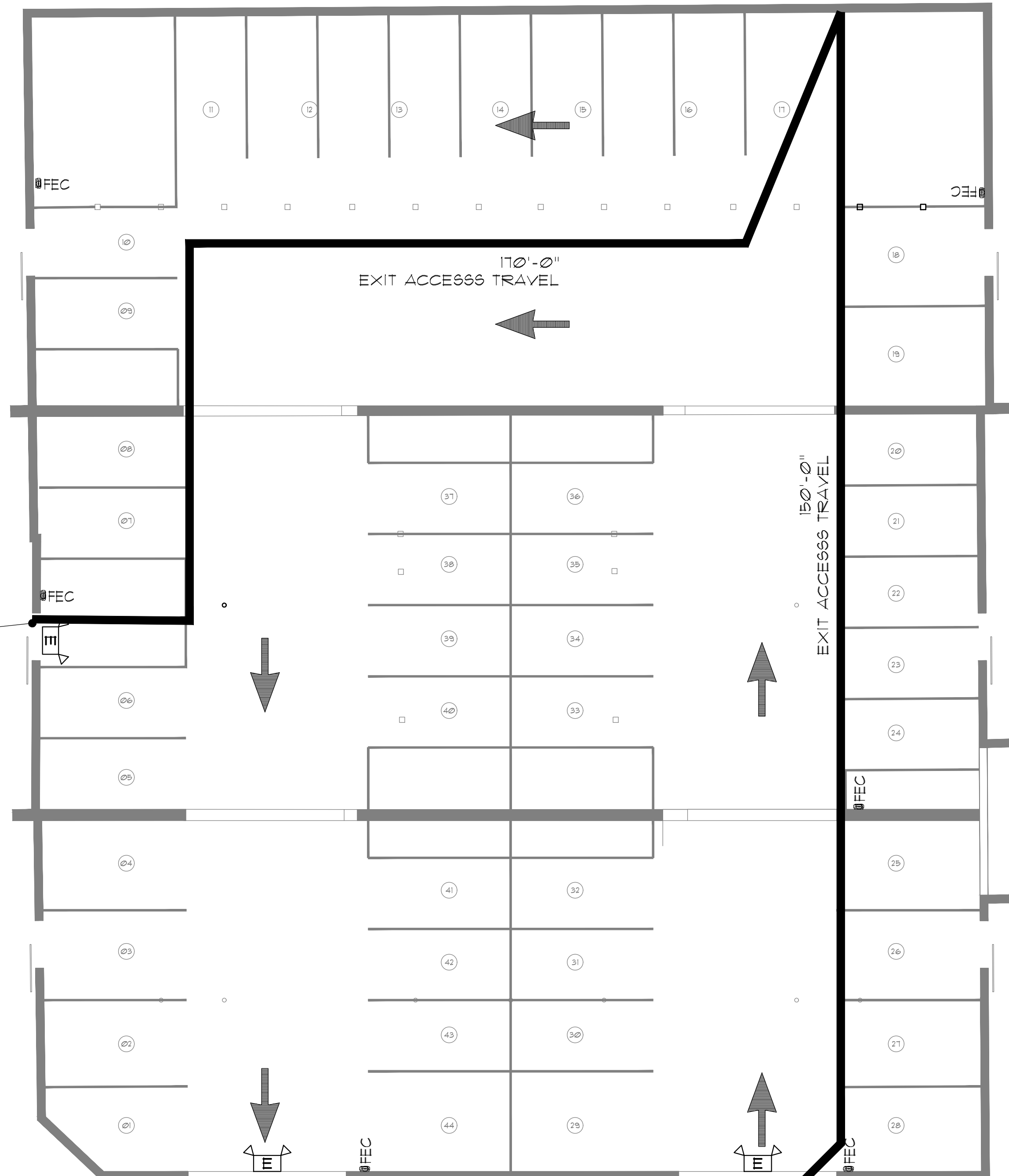
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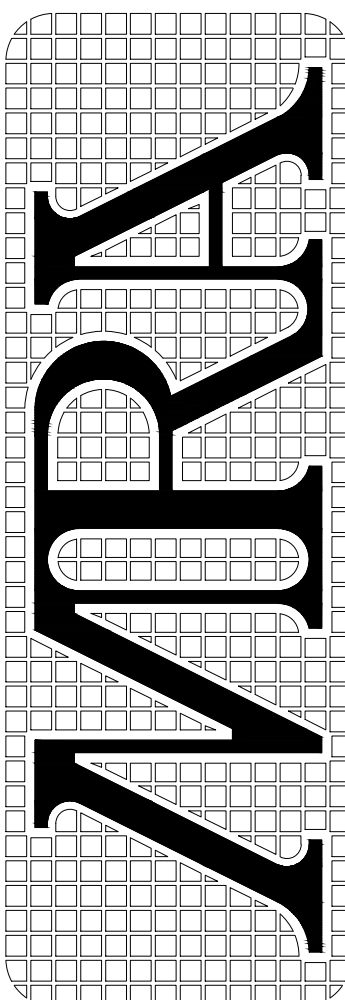
BUILDING	
BUILDING OCCUPANCY CLASSIFICATION (NCBC 311)	STORAGE
OCCUPANCY USE CLASS (NCBC 311)	GROUP S2
CONSTRUCTION TYPE (NCBC TABLE 601)	TYPE Vb
BLDG. HEIGHT ALLOWANCE (NCBC TABLE 506.2); MAX HEIGHT = 2 STORIES, 40' (NO MODIFICATIONS REQ'D)	HEIGHT : ±24'-0" STORIES:1
BLDG. AREA ALLOWANCE (NCBC TABLE 506.2); MAX AREA/FLOOR = 40,000 -NCBC 1205.2 THE ALLOWABLE FLOOR AREA FOR HISTORIC BUILDINGS SHALL BE PERMITTED TO EXCEED BY 20 PERCENT THE ALLOWABLE AREAS SPECIFIED IN CHAPTER 5 OF THE NCBC	17,434 SF
STAIRS (NCBC 1009)	N/A
STAIR WIDTH (NFPA SECTION 7.2.2.1.2); MINIMUM REQ'D = 44"	N/A
FIRE SPRINKLER SYSTEM REQUIRED (NCBC SECTION 903)	NFPA 13
FIRE EXTINGUISHERS REQUIRED (NFPA 10)	SEE
OCCUPANCY LOADS (NCBC 1004.5) : 200 SF/PERSON GROSS	200/17,434 = 81.17

BUILDING (NCBC CHPT. 10, SECTION 1005)	
REQ'D CORRIDOR WIDTH = 44" MIN	N/A
REQ'D EXIT DOOR WIDTH = 32" MIN. CLEAR (3'-0" LEAF)	PROVIDED EXISTING OPENING IN FIXED POSITION = 48" (2) 20' PARKING ENTRY OPENINGS SEE ADJACENT DIAGRAM
REQ'D STAIR WIDTH = 44" MIN. (STAIRWAY 0.30"/PERSON - LEVEL 02" PERSON)	N/A
REQ'D HEADROOM CLEARANCE = 7'-6" (CORRIDORS)	N/A
REQ'D HEADROOM CLEARANCE = 6'-8" (STAIRWAYS)	N/A
MAX. DEAD END CORRIDOR (SECTION 1011.3) = 20'	N/A
REQ'D EXITS (SECTION 1019)	PROVIDED = 2 EXIT PER FLOOR SINCE THE OCCUPANCY LOAD IS BETWEEN 1-500.
EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2) ; GROUP S-2 = 300' MAX. PER FLOOR	PROVIDED = SEE ADJACENT BLDG. DIAGRAM
NOTE: THE EXIT STAIRS ARE SEPARATED FROM INTERIOR SPACES OF THE BUILDING BY 1 HR. FIRE RESISTANCE RATED CONSTRUCTION AND 20 MIN. OPENING PROTECTIVES AS REQUIRED TO PROVIDE A PROTECTED PATH OF EGRESS TRAVEL BETWEEN THE EXIT ACCESS POINT (THE UNIT ENTRY DOORS) AND THE EXIT DISCHARGE.	N/A

EXISTING EXTERIOR DOORS TO BE REFINISHED AND FIXED IN PLACE IN OPEN POSITION



SCALE: 3/32" = 1'-0"



05B



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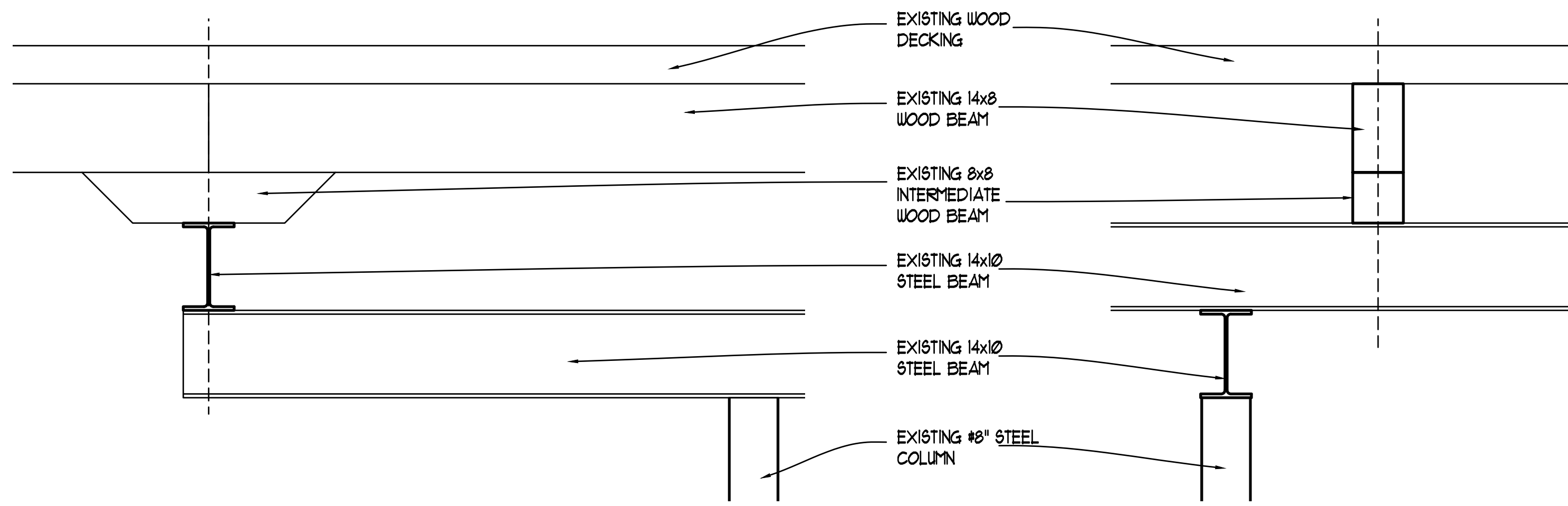
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CONCORD, NC

EGRESS PLANS AND CODE COMPLIANCE SHEET

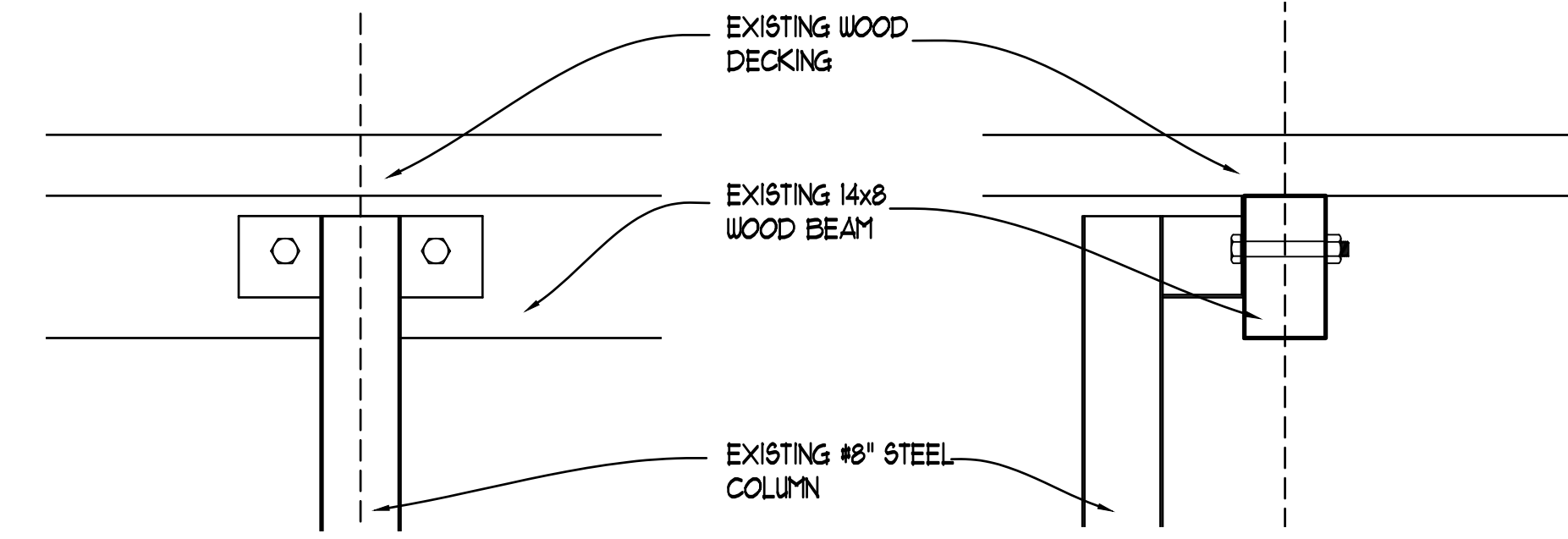
REVISIONS
9-22-21
10-1-21

PROJECT
2018-043
DATE
7-14-21
DRAWN BY / CHECKED BY
LEB





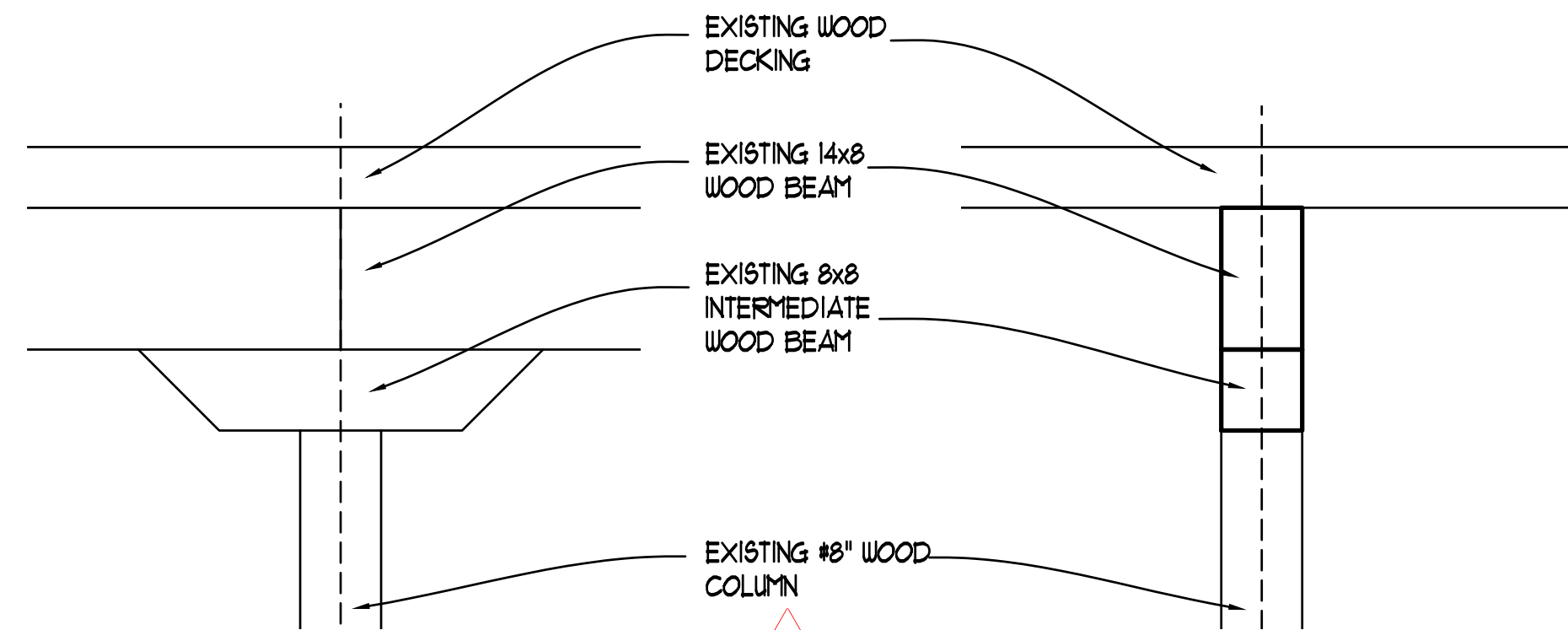
8 EAST WAREHOUSE EXISTING ROOF STRUCTURE DETAIL
3/4"=1'-0"



9 EAST WAREHOUSE EXISTING ROOF STRUCTURE DETAIL
3/4"=1'-0"

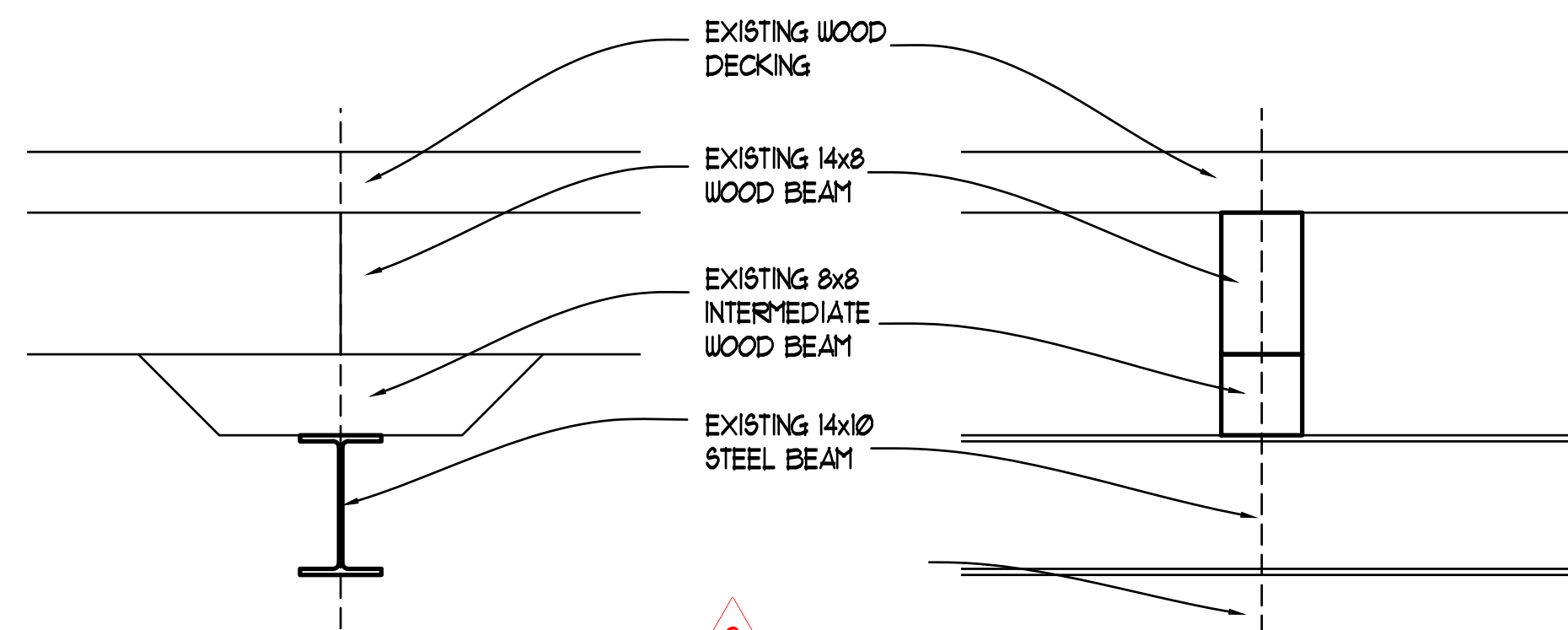
10 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"

11 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"



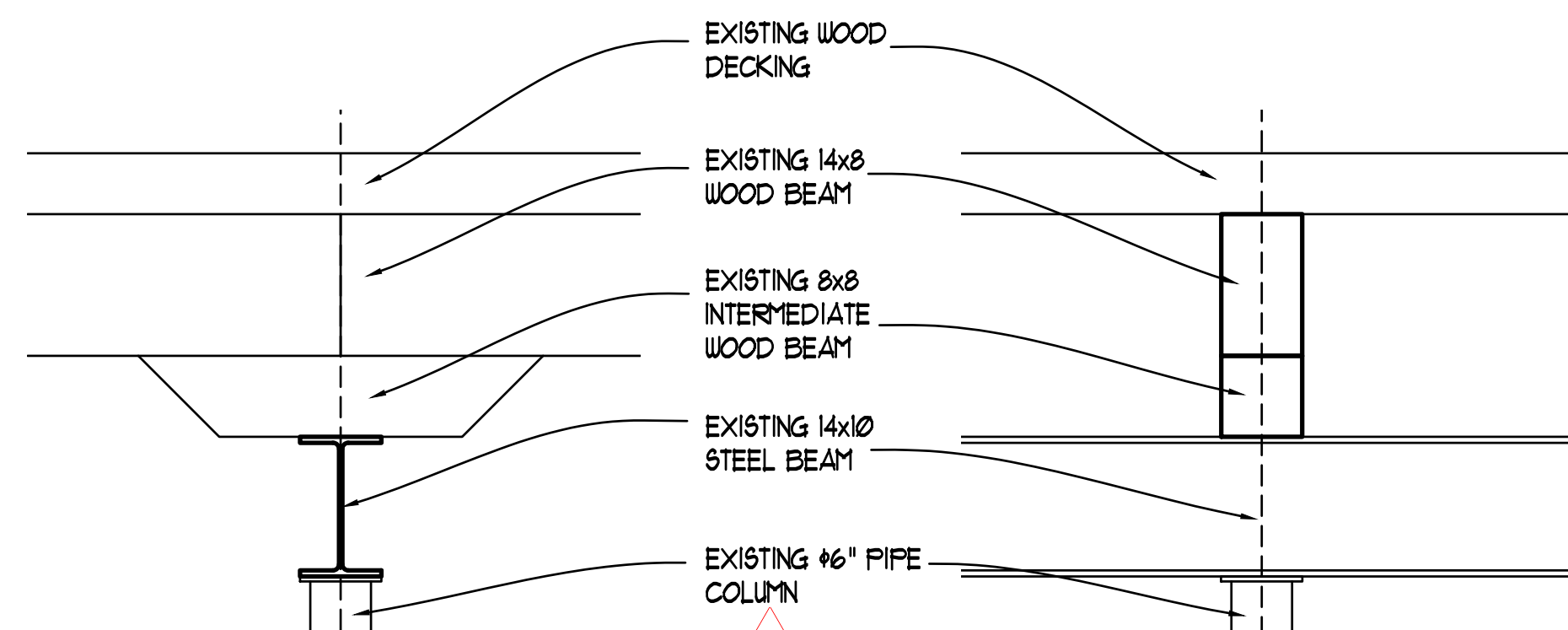
7 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"

6 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"



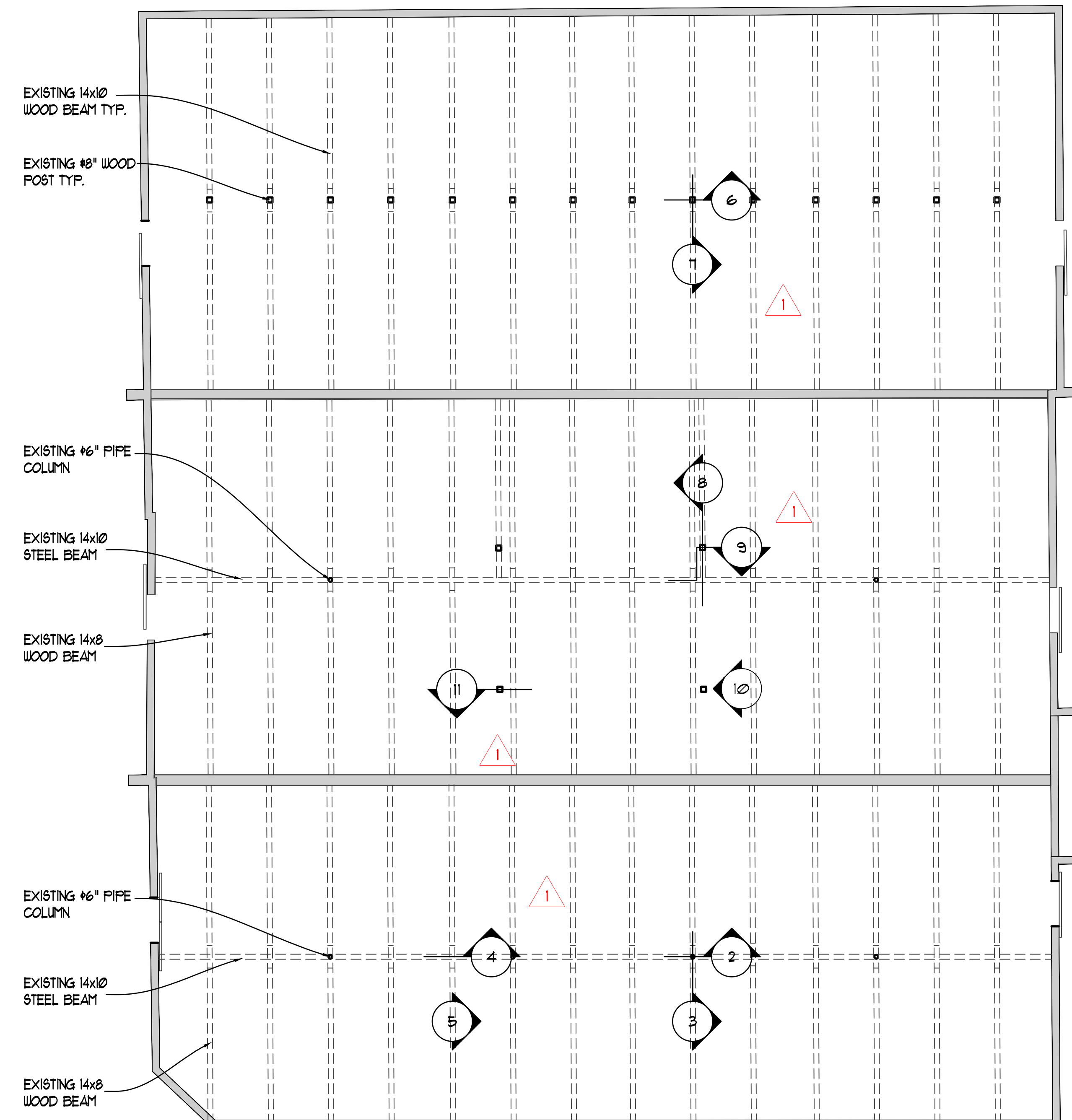
5 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"

4 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"



3 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"

2 EAST WAREHOUSE EXISTING DETAIL
3/4"=1'-0"



1 EAST WAREHOUSE EXISTING PLAN
3/32"=1'-0"

SCALE: 3/32" = 1'-0"

REVISIONS
9-22-21
10-13-21

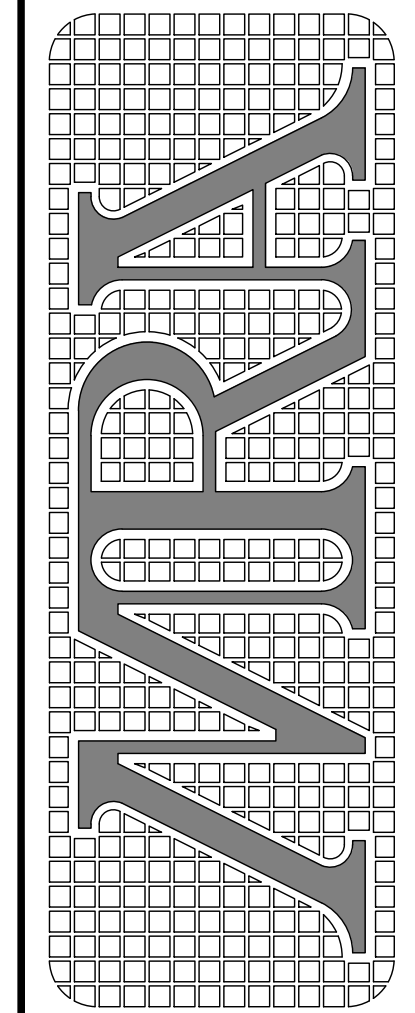
PROJECT
2019-043

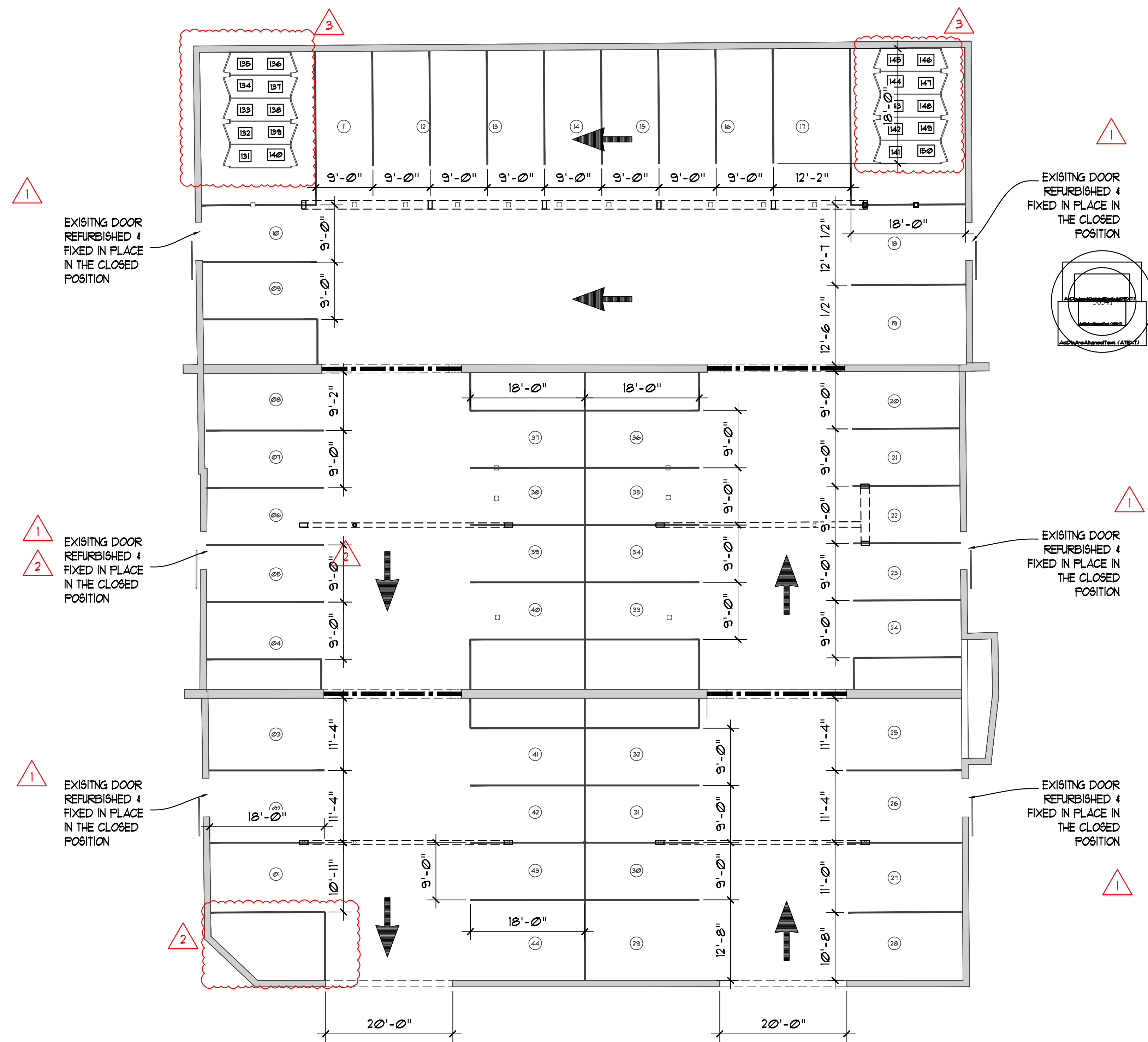
DATE
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1
EXISTING DOOR
REFURBISHED &
FIXED IN PLACE
IN THE CLOSED
POSITION

1
2
EXISTING DOOR
REFURBISHED &
FIXED IN PLACE
IN THE CLOSED
POSITION

1
EXISTING DOOR
REFURBISHED &
FIXED IN PLACE
IN THE CLOSED
POSITION

1
EXISTING DOOR
REFURBISHED &
FIXED IN PLACE IN
THE CLOSED
POSITION

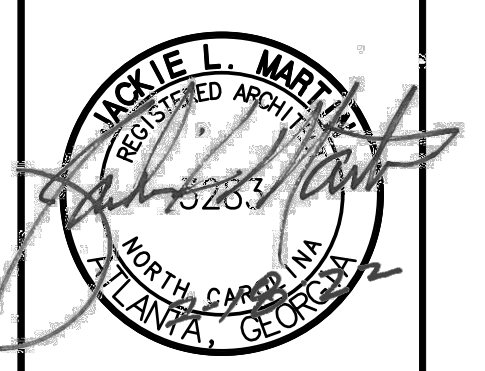
1
EXISTING DOOR
REFURBISHED &
FIXED IN PLACE IN
THE CLOSED
POSITION

1
EXISTING DOOR
REFURBISHED &
FIXED IN PLACE IN
THE CLOSED
POSITION

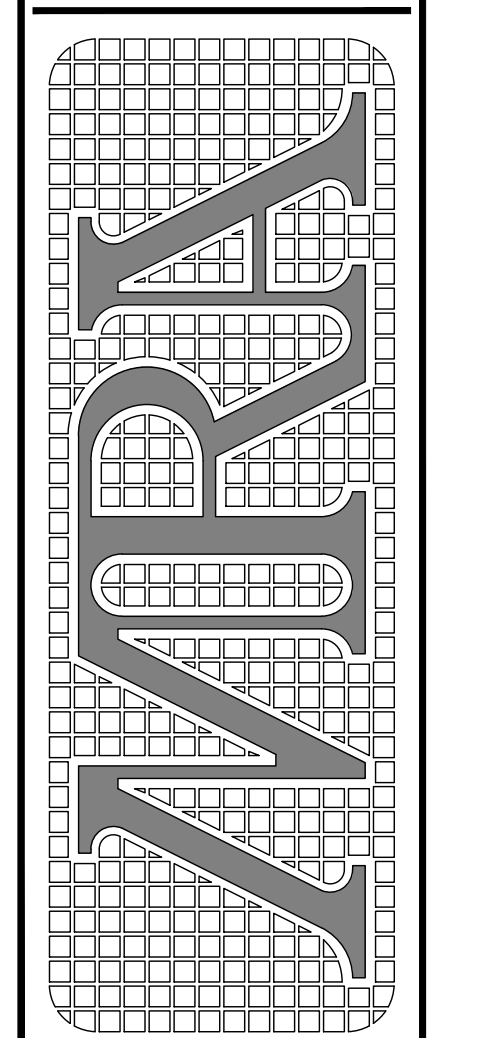
1 EAST WAREHOUSE NEW PLAN
3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"
SCALE: 3/32" = 1'-0"

REVISIONS	9-22-21	02-16-22
PROJECT	2019-043	
DATE	7-14-21	
DRAWN BY / CHECKED BY		LBG



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A1.09

SITE INFORMATION:

SITE: 10.65 ACRES
 ZONING: EXISTING: 1-2 PROPOSED: RESIDENTIAL
 COMPACT-RC-CD
 DENSITY: 14.17 UNITS/ACRES
 BUILDINGS: (1) 3 STORY WAREHOUSE
 (1) 2-STORY APARTMENT BUILDINGS
 SPRINKLERS: 13R
 PARKING SPACES: 228 REQUIRED @ 1.5 PER UNIT/ 228 PROVIDED

UNIT INFORMATION:

UNIT TYPE	E	1 BR	2BR	3BR	TOTAL
MAIN MILL 1ST FLR	17	7	10	0	34
MAIN MILL 2ND FLR	15	6	13	0	34
MAIN MILL 3RD FLR	0	4	10	12	26
WEST WAREHOUSE 1ST FLR	2	15	14	0	31
WEST WAREHOUSE 2ND FLR	0	14	12	0	26
TOTAL	34	46	59	12	151

REQUIRED AMENITIES:

- (A) PLAYGROUND - (W/MIN. 1 BENCH)
- (B) MULTI-PURPOSE ROOM (MIN. 250 SQ. FT.)
- (C) COVERED PICNIC AREA - (150 SQ.FT. W/ 2 TABLES & GRILL)

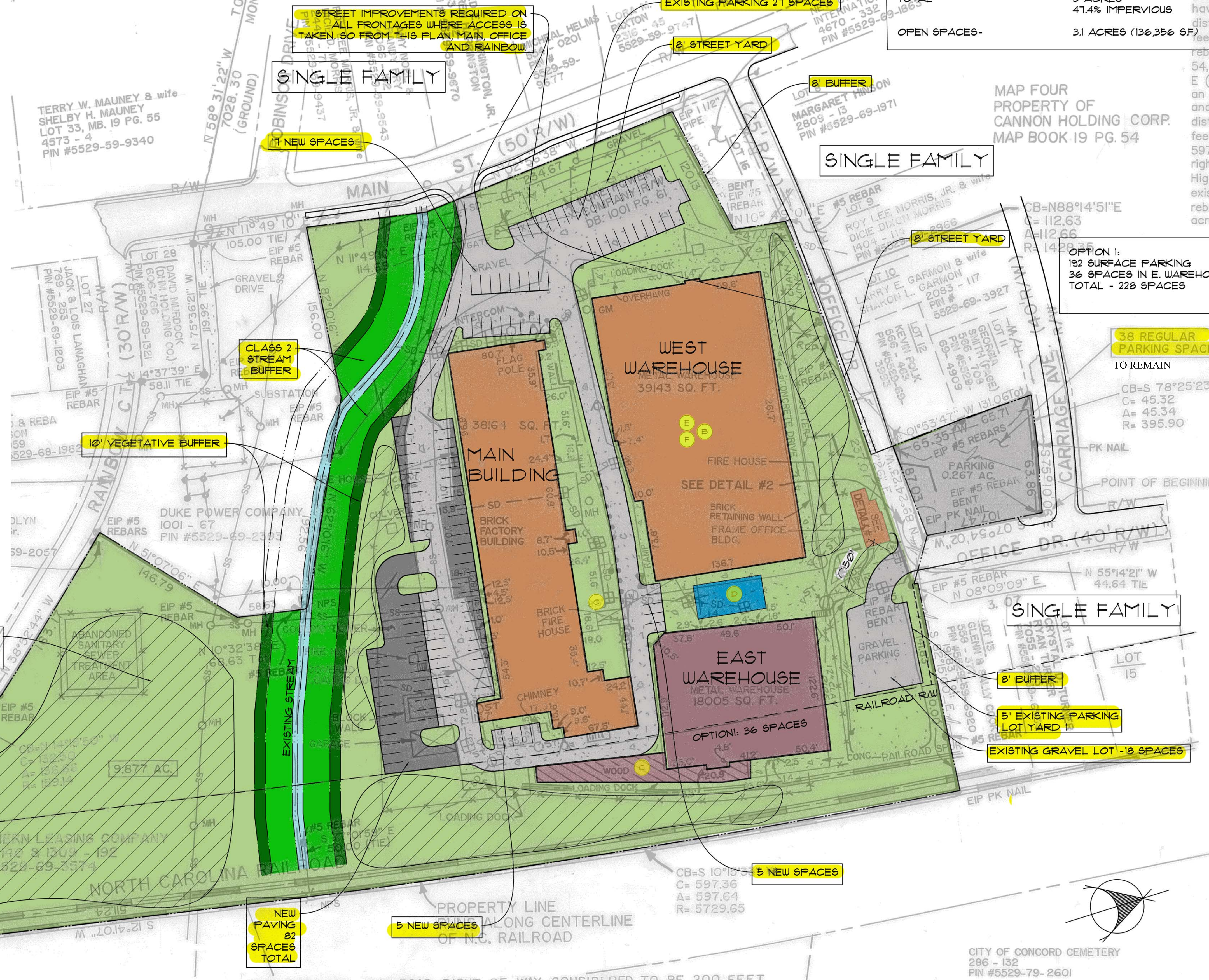
ADDITIONAL AMENITIES:

- (D) SWIMMING POOL
- (E) EXERCISE ROOM - (W/ NEW EQUIPMENT)
- (F) RESIDENT COMPUTER CENTER - (MIN. 2 COMPUTERS)

- NOTES:
1. PROVIDE TURN LANES ON HWY 601 AS REQUIRED BY CITY AND NC DOT.
 2. PROVIDE FIRE ACCESS AS REQUIRED BY FIRE MARSHALL. FIRE LANES TO BE 26' WIDE.
 3. SPRINKLER PLANS AND HYDRAULIC CALC. TO BE SUBMITTED TO FIRE MARSHALL FOR REVIEW.
 4. PROVIDE ADDITIONAL FIRE HYDRANTS AS REQUIRED BY FIRE MARSHALL.

TOTAL SITE AREA-	10.65 ACRES
EXISTING IMPERVIOUS BUILDING-DRIVES/WALKS-TOTAL	2.20 ACRES 2.6 ACRES 4.8 ACRES 45.2 % IMPERVIOUS
NEW IMPERVIOUS DRIVES/ WALKS-TOTAL-	0.2 ACRES (9986 SF) 5 ACRES 47.4% IMPERVIOUS
OPEN SPACES-	3.1 ACRES (136,356 SF)

13 PG. 280 AND TERMINATION



OPTION 1:
 192 SURFACE PARKING
 36 SPACES IN E. WAREHOUSE
 TOTAL - 228 SPACES

38 REGULAR
 PARKING SPACES
 TO REMAIN

CB=S 78°25'23" E
 C= 45.32
 A= 45.34
 R= 395.90

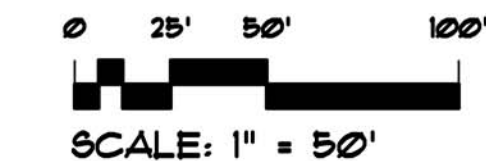
SINGLE FAMILY

EXISTING GRAVEL LOT - 18 SPACES

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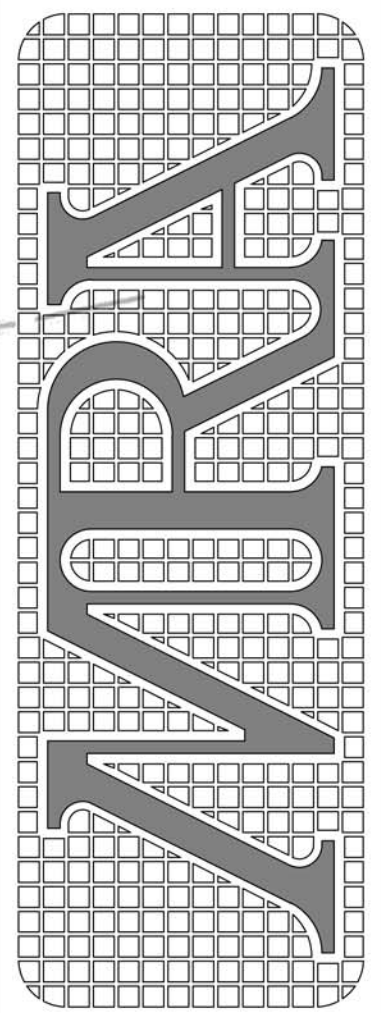
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OPTION 1



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SITE INFORMATION:

SITE: 7.9 ACRES
 ZONING: EXISTING: 1-2 PROPOSED: RESIDENTIAL
 COMPACT-RC-CD
 DENSITY: 19.11 UNITS/ACRES
 BUILDINGS: (1) 3 STORY WAREHOUSE
 (1) 2-STORY APARTMENT BUILDINGS
 SPRINKLERS: 13R
 PARKING SPACES: 228 REQUIRED @ 1.5 PER UNIT/ 228 PROVIDED

UNIT INFORMATION:

UNIT TYPE	E	1 BR	2BR	3BR	TOTAL
MAIN MILL 1ST FLR	17	7	10	0	34
MAIN MILL 2ND FLR	15	6	13	0	34
MAIN MILL 3RD FLR	0	4	10	12	26
WEST WAREHOUSE 1ST FLR	2	15	14	0	31
WEST WAREHOUSE 2ND FLR	0	14	12	0	26
TOTAL	34	46	59	12	151

REQUIRED AMENITIES:

- (A) PLAYGROUND - (W/MIN. 1 BENCH)
- (B) MULTI-PURPOSE ROOM (MIN. 250 SQ. FT.)
- (C) COVERED PICNIC AREA - (150 SQ.FT. W/ 2 TABLES & GRILL)

ADDITIONAL AMENITIES:

- (D) SWIMMING POOL
- (E) EXERCISE ROOM - (W/ NEW EQUIPMENT)
- (F) RESIDENT COMPUTER CENTER - (MIN. 2 COMPUTERS)

NOTES:

1. PROVIDE TURN LANES ON HWY 601 AS REQUIRED BY CITY AND NC DOT.
2. PROVIDE FIRE ACCESS AS REQUIRED BY FIRE MARSHALL. FIRE LANES TO BE 26' WIDE.
3. SPRINKLER PLANS AND HYDRAULIC CALC. TO BE SUBMITTED TO FIRE MARSHALL FOR REVIEW.
4. PROVIDE ADDITIONAL FIRE HYDRANTS AS REQUIRED BY FIRE MARSHALL.

TOTAL SITE AREA- EXISTING IMPERVIOUS BUILDING- DRIVES/WALKS-	7.9 ACRES
NEW IMPERVIOUS DRIVES/ WALKS- TOTAL-	0.46 ACRES (19,920 SF) 46 58% IMPERVIOUS
OPEN SPACES-	13 ACRES (51129.8 SF)

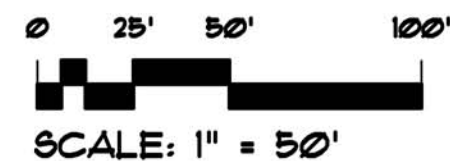
13 PG. 280 AND TERMINATION



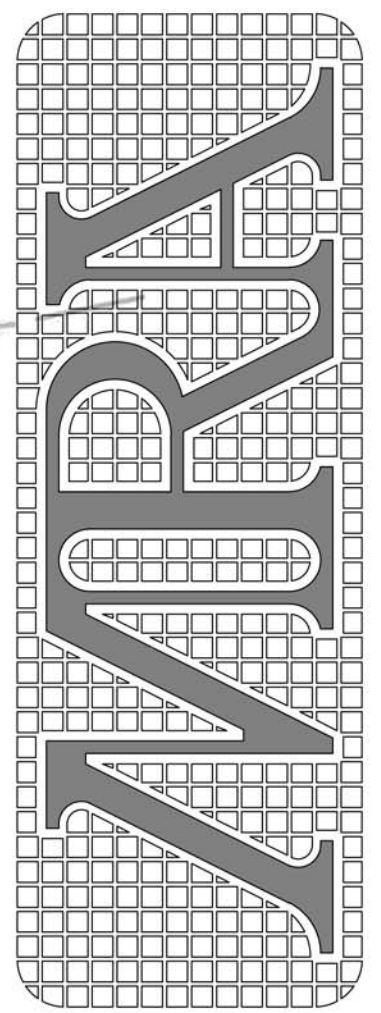
COLEMAN MILL APARTMENTS

CONCORD, NC

OPTION 2



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